

EASTON PARK



Residential Development Guidelines

4B3

THE Nelson
AT Easton Park

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I. GENERAL

1.1 Community Vision

Easton Park is designed to have the core elements of a “long-standing established neighborhood” with a playful modern twist. By carefully crafting each Section with a mixture of housing products and amenities, the neighborhoods in Easton Park are able to appeal to a wide range of users. While diversity and choice are celebrated in Easton Park, it is important for all residents to realize that their home is “one piece of a greater whole” and that the importance of placement, size, texture and color of each piece is what unites the community together.

1.2 Builder Responsibility

Builders are solely responsible and liable for ensuring that all construction and/or improvements meet or exceed all applicable codes, good building practices and comply with all local and federal regulations, laws, etc. Each builder is ultimately responsible to make sure every home is built to be in full compliance with these Guidelines.

1.3 Definitions

The following definitions are provided to ensure a mutual understanding of significant terms used in this document.

Amenity

A desirable feature, facility or location in the community, such as a: lake, reserve, preserve, public venue, park, side street (Corner Lots), etc.

Amenity Lot

A Lot which fronts, side and/or rears a desirable feature, facility or location in the community, such as a: lake, reserve, preserve, public venue, park, side street (Corner Lots), etc.

Applicant

Any Builder or other entity who or which has made or intends to make a submittal to the ARC.

Architectural Review Committee (ARC)

Referred to in the Master Covenants as the “Easton Park Reviewer”, the ARC is a special committee appointed by the Developer to review and approve all proposals made for improvements within Easton Park. The Architectural Review Committee (ARC) will administer these Guidelines.

Block

A specified collection of residential streets, Lots and reserves.

Condominium

Generally, a large property complex, comprised of individual units, typically attached to at least one other unit (“Attached Condominium Units”), or free-standing (“Single-Family Detached”), and each unit is owned separately.

Corner Lot

A Lot bounded by street right of way or landscape reserve on at least two sides.

Developer

Brookfield Residential / Carma Easton LLC, and its successor or assigns.

Easement

The right of another party (e.g., a utility company, governmental authority, etc.) to use a portion of an

individual property for a limited purpose, as set out in a Plat, the Covenants, or an Easement agreement recorded in the Travis County Real Property Records. The Easements established by the Covenants (the “Covenant Easements”) affect all Lots and provide a buffer zone between properties to minimize the impact of one Lot upon the other. They are set aside to provide utility service and drainage to the surrounding area, and natural vegetative screening and privacy separations between Lots. Many Lots in The Nelson at Easton Park are also affected by Drainage Easements (D.E.), Storm Sewer Easements (S.S.E.), Sanitary Sewer Easements (S.E.), Public Utility Easements (P.U.E.), Joint Use Access Easement (J.U.A.E.), and Pathway Easement (P.E.).

Interior Lot

A Lot which faces a public right of way only on the front and which has other residential Lots adjacent on both sides.

The Nelson at Easton Park Residential Development Guidelines (the “Guidelines”)

A document containing basic planning principals, general development program, the development review process and standards required for development within The Nelson at Easton Park.

Landscaping

The combination of natural elements such as trees, shrubs, ground covers, vines, and other living organic and inorganic material.

Lot

A single parcel of land intended for residential use.

Lot Designation

All Lots in The Nelson at Easton Park will be a mix of “Single-Family Detached” and “Attached Condominiums”.

Open Space Area

Refer to definition for “Amenity Lot” above.

Owner

The Owner of record title to the fee interest in any tract of land, whether or not they reside on the tract.

Plat

A map of land divisions within The Nelson at Easton Park that shows individual Lots, property lines, building setback lines, streets, certain Easements and other matters. Plats are legal documents recorded in the Real Property Records in the Travis County Clerk’s Office.

Property Survey

A scale drawing of an individual Lot showing all Easements, platted building lines, and the exact location of all structures and improvements within the Lot, prepared and certified by a surveyor or engineer.

Section

A specified collection of residential streets, Lots and reserves.

Sign

Any device, structure, fixture or placard using graphics, symbols and/or written copy of the primary purpose of identification or advertising any establishment, product, goods or services.

Single-Family Detached

A free-standing structure designed for the residential use of a single family.

Single-Family Lot

A Lot or tract of land upon which one or more Single-Family Detached dwelling has or will be built.

Right-of-Way (R.O.W.)

The Right-of-Way are the areas between platted Lot lines on one side of the street and platted Lot lines on the opposite side of the street, including the paved roadway, any median or cul-de-sac islands, the drainage ditch (if any) and a strip of land between the paved roadway and the platted Lot line. Right-of-Way are dedicated to the county or other public bodies for public access, drainage and utility purposes. Right-of-Way are usually shown on the Plat of a subdivision.

Village

Easton Park will be composed of multiple residential Villages. (i.e. Prospect Park, Discovery Park, Kieke Park, Skyline Park, Union Park, etc.) Each Village is composed of a series of Sections.

II. DESIGN

2.1 Architectural Styles

The exterior architectural style shall be consistent with the character of the community and all elements of a home shall be architecturally compatible to a particular style as determined solely by the ARC on a case-by-case basis. The ARC retains the right to disapprove any elevation.

The architectural styles for The Nelson at Easton Park are:

- Transitional
- Modern Farmhouse
- Craftsman

An architectural character table describing the iconic features for each style along with example photos are provided in these Guidelines. This tables contains primary identifying characteristics for the specified style and recommendations on how each element can be included in the building design. The features and materials listed within these tables are not absolute. A home builder may include additional materials and elements as long as they are consistent with the desired architectural style.

(Reference Exhibits "A1" – "A3")

2.2 Plan Repetition

Plan repetition shall be as follows:

PLAN	ELEVATION	MIN. NUMBER OF LOTS IN BETWEEN OR ACROSS THE STREET*
Same	Same	2
Same	Different	1

*If the Same Plan is across the street, the first Lot across the street is considered the first of the required separation Lots.

(Reference Exhibits "F1" & "F2")

2.3 Color & Material Repetition

- The use of diversified material pallets is strongly encouraged to avoid monotony of the street scene.
- The dominant colors (including paint, brick, stone, stucco, etc.) should have a minimum of three (3) Lots in between. If the Plan is across the street, the first Lot across the street is considered the first of the required separation Lots.
- A separation of at least six (6) buildings shall be maintained for buildings that share both the same elevation and a same design palette.
- The builder is solely responsible for complying with the Design Palette Standards. The Developer, the ARC or its designee are NOT responsible for ensuring that colors and material use does not violate repetition requirements.
- The ARC reserves the right to deny an elevation that is primarily similar to the elevation of a nearby house.

2.4 Lot Designations

All Lots in The Nelson at Easton Park have the following **Lot Designation**:

- Single-Family Detached
- Attached Condominium

2.5 General Requirements – (All Homes)

Below are the general requirements for ALL homes in The Nelson at Easton Park (4B-3).

A. Wildland-Urban Interface Code (WUIC)

Builders are required to install vent screens for ember protection on applicable vents on all homes per the “Wildland-Urban Interface Code”, section § 504.10, available at www.AustinTexas.gov . Please note that this section § reference may change without notice and that it is the sole responsibility of the builder to ensure that the most current version of any and all codes are followed.

B. Lot Coverage

The total of all hard surfaces created during initial construction of the residence (including: building pad, garage, Driveway, Private Walkways, porches, patios, etc.) shall not exceed:

Sixty-Five (65%) Percent Maximum

C. Lot Setbacks

(Reference Exhibits: “B1” – “B2”)

D. Square Footage

ALL air-conditioned interior space shall be measured to the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco) and be included in the house square footage. Stairs and two-story spaces shall only be counted once.

The allowable square footage for all homes in The Nelson at Easton Park shall be:

LOT TYPE	MINIMUM SQFT.	MAXIMUM SQFT.
SFD	1,200	3,000
Condo	1,200	3,000

E. Minimum House Width

See chart below.

LOT TYPE	MINIMUM HOUSE WIDTH
Condo	26'
SFD	28'

F. Private Walkways

- (1) A minimum of one (1) walkway must extend from the primary entrance of a home to the driveway.
- (2) Private Walkways shall be a maximum width of four (4') feet.

G. Driveways

(1) Driveway Responsibility/Construction

Builders are required to install the driveway out to the street using best professional practices, to include reinforcement of concrete and expansion joints. All driveways must be constructed per the 6.5 CITY OF AUSTIN FLARED TYPE 1 DRIVEWAY (NO. 433S-IA).

(Reference Exhibits: "E1" – "E4")

(2) Driveway Materials

All driveways shall be standard-gray reinforced concrete.

(3) Driveway Widths – (2-Car Garage)

Driveways serving two (2) car garages shall be:

(a) Location

Centered on the garage door.

(b) Minimum Width

Sixteen (16') Feet

(c) Maximum Width

(i) At Garage for a Single-Family Dwelling

May not extend more than six (6") inches beyond the side edge(s) of the garage.

(ii) At Garage for Condominiums

May not extend past edge of garage door.

H. Garages

(1) Each dwelling unit shall have a garage capable of accommodating two (2) full-size automobiles.

(2) Garage doors shall not exceed eight (8') foot in height of typical home garages.

(3) All garage doors must be of equal height.

(4) All garage doors shall be a decorative panel metal or wood of an appropriate design for the home's architectural style. No particle board or fiberglass doors are permitted.

I. Carports

Carports are prohibited.

J. Roofs

(1) Roof Material

The roof material shall be appropriate to the home's architectural style. If composition shingles are used, they must be dimensional with a 30-year warranty. The use of 3-tab shingles is not permitted.

(2) Exposed Roof Penetrations

All exposed stack vents, skylight curbs, attic ventilators, and other metal roof accessories shall match or closely resemble the roofing color. Roof and valley flashing shall be of a pre-finished or painted to match the roof color. Glossy finishes are prohibited.

(3) Skylights

Skylights and solar tubes are permitted, but shall be designed as an integral part of the roof. Framing materials shall be colored to blend in with the adjacent roof. White and/or “bubble” skylights are not permitted.

K. Chimneys

(1) If used, must be appropriate for the home’s architectural style.

(2) Exposed metal flues are not allowed. They may be used only when faced with the brick/ masonry or HardiePlank siding used on the house.

(3) Heights of chimneys shall meet all fire code requirements and be proportional to the roofline of the respective home.

(4) Direct vents located on exterior walls of the home must be painted with high-temperature paint which is the same color as the surface material they project out from.

(5) Spark arrestors and caps are required on all chimneys. The spark arrestor and cap shall be unadorned and designed to match or be compatible with the color, material and architectural style of the exterior elevations of the home. Caps shall be of metal or masonry construction. Spark arrestors may not exceed the height of the chimney cap. All chimney caps must be painted with a matte finish paint to coincide with the color scheme of the home.

L. Address Plaque

All homes must have an address plaque or numerals permanently affixed to the front elevation of the home in a conspicuous location easily visible from the street. The panel shall be located on the front façade of the house or garage facing the street for which the address of the home is designated. Logos of any kind are not permitted on address plaques.

M. Security Devices/Bars

(1) Security devices such as cameras, sirens and speaker boxes shall be the minimum size needed to be effective and shall be located in the least conspicuous location while allowing satisfactory performance.

(2) Security and/ or burglar bars on the exterior of homes are not permitted.

(3) If security devices are being considered for a home, the builder shall utilize a device which is minimally visible to public view and preferably mostly contained within the home.

(4) Cameras are to be located under the eaves of the home and the camera(s) or their field(s) of vision shall not be placed to be focused on any neighboring property.

(5) All cabling must be concealed.

N. Exterior Materials/Colors (“Design Palette Standards”)

The design palette of a residence directly impacts the street scene on which it is located. By having multiple palettes, it increases the visual diversity of the neighborhood while still providing harmony within the community and natural environment. The materials and colors of each design palette must complement the architectural style of the building.

The builder is solely responsible for complying with the Design Palette Standards. The Developer, the ARC or its designee are NOT responsible for ensuring that colors and material use does not violate repetition requirements.

The ARC reserves the right to reject any design palette that does not reinforce the architectural character or precedence of an architectural style.

The following standards shall apply to the design palettes utilized in The Nelson at Easton Park:

(1) Design Palettes

(a) Color & Materials Repetition

(Reference Section 2.3)

(b) Materials

All major proposed (primary and accent) cladding materials to be used on a single building.

(c) Color Schemes

The specific colors chosen to be grouped together on a single elevation.

- (i)** Any home offered on a repeating basis will be required to have minimum of six (6) exterior color schemes (building material may stay the same).
- (ii)** A minimum of three (3) distinct building colors (one (1) primary and two (2) accent) are required in each color scheme.
- (iii)** The primary color of a structure should be non-obtrusive.
- (iv)** Additional accent colors may be utilized depending on the detail and character of the home.
- (v)** All paint, stain, tile, and/or other colored materials must match or complement the color scheme and architectural style of the intended dwelling.
- (vi)** A variety of color schemes should be implemented to achieve a varied look in character to avoid a monochromatic appearance.

(Continued on following page.)

(d) Color Scheme Examples (by Architectural Style)

Complementary color schemes have been developed for each of the recommended architectural styles. These themes are suggestions based off of typical design elements and colors utilized within each style. They are not required to be used with the associated architectural style and can be applied to other architectural styles as appropriate.

(Reference Exhibits "A4" & "A5")

If a home builder desires to create their own color scheme, they may generate an "Alternate Color Scheme" with the following features:

FEATURE COLOR	COLOR LOCATION
Body Color	The primary color for the overall exterior building material.
Trim Color	The color of trims at doors, windows, openings, eaves and any body accents.
Accent Color	Features such as doors, shutters, garage doors, etc.
Fascia Color*	The color of eaves, overhangs, and possibly wood stain.
Veneer Color*	The selection of stone or brick veneer.
Metal Color*	Features like iron work details, railings, gates, grilles, etc.
Precast Color*	Trims, surrounds or caps accents

*As needed for specific architectural styles utilizing these materials/details.

(2) Material Cladding of Foundation

No more than eighteen (18") inches (vertical dimension) of concrete foundation may be exposed to public view. If more than eighteen (18") inches of foundation is exposed, the exterior materials must be brought down over the face of the foundation or screened and maintained with evergreen shrubs to minimize the amount of exposed slab.

(3) Painting / Colors of Pipes, Vents & Functional Louvered Vents

All wall extrusions / penetrations, equipment attached to exterior walls or similar, including, but not limited to pipes (PVC, metal, etc.), wall vents, utility meters, exposed flashing, etc. must be the same color as the surface material they project out from or to which they are directly attached.

(4) Enhanced Cladding Materials

At a minimum, enhanced cladding materials shall be used on the front elevation and material returns on side elevations and may include masonry, stucco, wood shingles and metal, wood, vinyl or fiber cement siding applied authentic to the home's particular style of architecture.

(5) Wall Material Transitions

All transitions between materials shall occur at logical points in the elevation. Where there is a material transition from front elevation's primary material to another approved material on a side elevation, the front elevation's primary material is encouraged, but not required, to extend back at least five (5') feet or to a logical transition point, whichever is greater. The side-facing first-floor elevation of corner lots shall have, at a minimum, a continuous wainscot that runs the entire length of the street-facing side elevation and terminate at the front fence. Note that wainscot may continue past the front fence and around the entire home.

- (6) Stone**
Any and all stone utilized on the exterior of a home shall be earth tones.
- (7) Masonry Mortar Joints**
All mortar joints shall be tooled. Mortar colors if used, shall be selected to complement the brick or stone color. Caulking of vertical expansion joints and border joints must match mortar color.
- (8) Siding**
Traditional applications of siding are typically installed horizontally and include panels, traditional lap or Dutch lap with an exposed panel greater than four (4") inches. The use of particle board, or any sheet siding is prohibited.
- (9) Trim**
All trim shall be smooth/ semi-smooth, high-quality finish grade stock wood or fiber cement board.
- (10) Windows**
Window type/color/finish shall be complementary to the overall character of the home's design. Reflective, "mirrored" or tinted glass other than bronze or gray is not permitted. Materials in windows such as newspaper, aluminum foil, etc. are strictly prohibited.
- (11) Awnings**
Canvas awnings are prohibited.

O. Exterior Building Lighting

- (1)** Lights may not be mounted in a way or installed in locations which will allow them to shine onto or be a nuisance to neighboring properties. Any lighting on individual Lots shall be directed away from adjoining property. Light sources shall not conflict with the sight lines of pedestrians or motorists in a manner which endangers their safety and welfare.
- (2)** The ARC and/or HOA retain the right to require additional shielding, screening and or removal of lights and fixtures (at the current Owner's sole expense) which are deemed a nuisance at the sole discretion of the ARC and/or HOA.
- (3)** All light fixtures and their locations shall be submitted (clearly noted on the plans) to the ARC and Applicant must receive written approval from the ARC prior to installation.
- (4)** All exterior illumination shall be designed and located to encourage conformance to "Dark Sky" principles. "Dark Sky" principles include avoiding adverse impact of artificial light including sky glow, glare, light trespass, light clutter, decreased visibility at night, and energy waste.
- (5)** Exterior mounted lamp housings must shield lamp from view and the direct light.
- (6)** All exterior lighting, including LED lights must be of soft, warm white lighting and shall not exceed a light output of seventy-five (75) watts or equivalent. Decorative or lantern fixtures shall not exceed a light output of forty-five (45) watts or equivalent per fixture.
- (7)** Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable. Sodium, mercury vapor, or bare HID yard lights are prohibited.
- (8)** Conduits and wiring shall remain concealed from view of the neighboring Lots and all public views.

- (9) Each home will be required to have a minimum of one (1) front porch light fixture, either wall-mounted or soffit lighting.
- (10) Each Single-Family Detached dwelling will be required to have a minimum of one (1) coach light located on the garage façade, either at the side of the garage door or above it.
- (11) Each Attached Condominium will be required to have a minimum of two (2) coach lights located on the front of each building; one (1) coach light at the side of the garage door or above the garage door, per unit.
- (12) Flood lights may not be mounted higher than the first-floor plate height and may not be located on the front elevation.
- (13) **Soffit/Eve-Mounted Accent Lights**
 - (a) **General**
Lights may not be mounted in a way or installed in locations which will allow them to shine onto or be a nuisance to neighboring properties.
 - (b) **Front Elevation**
Recessed soffit/eve-mounted accent lights may be used on the first (1st) story and second (2nd) story of the front elevation.
 - (c) **Side & Rear Elevation**
Recessed soffit/eve-mounted accent lights may only be used on the first (1st) story of side or rear elevations which do not face an adjacent residential Lot. (i.e. A side elevation which faces either a side street on Corner Lots or faces an Amenity is authorized. A rear elevation which faces an Amenity is authorized.)
 - (d) **If used, soffit/eve-mounted accent lights:**
 - (i) Must be fully recessed (the bulb and/or lens may not extend out of the can).
 - (ii) Lights must be angled straight down.
 - (iii) Lights may not exceed forty (40) watts or equivalent output.
 - (iv) One (1) light temperature must be used for all lights, which must be between 2700K and 3000K to produce soft warm white illumination.
 - (v) Lights must be static. Lights which flash or pulse are strictly prohibited.
 - (vi) Light cans and trim must match the color of the soffit/eve to which it is installed.
 - (vii) Lights may not be mounted in a way or installed in locations which will allow them to shine onto and/or be a nuisance to neighboring properties.

P. Antennas

- (1) Television antennas on roofs shall be avoided.
- (2) If placed outside, the antenna shall not encroach on neighboring private or public property.
- (3) Antennas, satellite dishes, and radio towers shall be located in the least conspicuous location while still allowing for satisfactory reception.

- (4)** If multiple locations will provide satisfactory reception, the least conspicuous location must be used.
- (5)** If the antenna is placed on the site, it is suggested that the smallest antenna possible be used to avoid attention.
- (6)** The ARC reserves the right to require additional vegetation and/or fence screening, as determined on a case-by-case basis to minimize visibility to the public and/or neighboring properties.
- (7)** Radio towers are prohibited.
- (8)** All cabling shall be concealed.

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III. PROCEDURES & SUBMISSIONS (For builders during initial home construction.)

3.1 General

The builder is solely responsible and liable for following the requirements of these Guidelines regardless of whether detail(s) of items are noted/called out on reviews/documentation including, but not limited to plans, permits, applications and inspections.

3.2 Procedure

The review process begins when a Builder submits an online application including a set of plans, drawings, specifications and other required information to the ARC for processing. Submissions shall be made online at www.KenAnderson.com > [Residential](#) > [Easton Park](#).

3.3 Required Submission Information

The builder is required to submit the following information to be reviewed by the ARC.

A. Master Plans

In order to provide the shortest turnaround time for reviews the following shall be required. When submitting a Master Plan Application for review, builders shall submit:

- (1) Each elevation as a separate submission. (i.e. Elevation "A" should be a separate application/submission from Elevation "B".)
- (2) Each Master Plan (elevation, such as elevation "A") submission shall only include the plans, elevation, option(s), etc. sheets that pertain to that particular Master Plan (elevation).
- (3) Floor Plans
- (4) Electrical Plans (showing all exterior lighting)
- (5) Roof Plan
- (6) Material(s) location(s) clearly called out on plans.
- (7) **Statement of House Square Footage**
 - (a) Base square footage of the plan.
 - (b) Square footage of each option (if any) which adds livable square footage.

Square footage will be measured as follows:

- (i) To the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco).
- (ii) Stairs and two-story spaces shall be counted only once.
- (iii) Unfinished areas, that can be easily converted for future use, will be included.
- (iv) **Exclude the following from square footage:**
 - Garages, porches or other appendages.
 - A/C returns, pipe chases, fireplaces and non-structural voids.
 - Spaces with ceiling height of less than six (6') feet.

Written approval from the ARC must be received before submitting for a Building Permit.

B. Building Permit

In order to provide the shortest turnaround time for reviews the following shall be required. When submitting a Building Permit Application for review, builders shall submit:

(1) Architectural Plans

Architectural Plans shall include the following:

- (a)** Floor plans and (all applicable) exterior elevations for the elevation being submitted.
- (b)** Electrical Plans (showing all exterior lighting)
- (c)** Roof Plan
- (d)** Material(s) location(s) clearly called out on plans.
- (e)** Statement of House Square Footage. (Note that ALL air-conditioned interior space shall be measured to the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco) and be included in the house square footage.)

(2) Site Plan

Site Plan drawing including the following information:

- (a)** Section Number, Block Number, Lot Number
- (b)** Property Lines, Right of way, minimum setbacks & Easements
- (c)** Actual footprint of house and garage, with dimensions of main elements from property lines.
- (d)** Driveway, patios, walls and any other flatwork, fully dimensioned
- (e)** Locations of inlet(s)
- (f)** Total percentage of coverage of all impervious cover including house, garage, walkways, driveway, patios, porches, etc.
- (g)** Location, height, type and material of each exterior fence or wall.
- (h)** If applicable, any temporary construction facilities such as trailers, storage locations, fences, temporary Signs, lights, model home parking lots, etc.

3.4 Quality of Submission Content

It is in the interest of both the Builders and the Developer that this process be a smooth and timely one. For that purpose, the approvals can be facilitated if complete and high-quality documentation is provided to the ARC. When an Application is received, it is reviewed for completeness. An Application that is not complete and/or not clearly readable will be returned (without review) with an explanation of the reasons for this action. A complete Application will be processed and reviewed by the ARC.

3.5 Submission Timing

Submissions to the ARC for approval may be made at any time. Responses will generally be made within seven (7) business days from receipt of a completed online application (including all correct information, applicable supporting and required documents in electronic format), however a lack of response after ten (10) business days shall be deemed a rejection.

3.6 ARC Action on Submittals

Notice of Approval, Conditional Approval or Disapproval of each submission will be returned to the Applicant via email or other electronic means which the ARC deems appropriate. Builder may request a Lot Ribbon Inspection immediately following receipt of written Final Building Permit Approval from the ARC. Approval by the ARC does not constitute an approval by any other entities.

3.7 Approval from Additional Entities

Applicant/Builder is solely responsible for obtaining all applicable written approvals from all applicable governing bodies, agencies, offices and/or entities. Approval by the ARC does not constitute an approval by any other entities.

3.8 Expiration of Permits

All approved or conditionally approved permits shall be exercised within one (1) year from the date of approval, or the permit shall be null and void.

3.9 Variances

Variances to these Guidelines may be granted by the ARC. Any variance granted will only be applicable to the specified site and conditions for which the variance was granted, only if it has been identified in writing on the submitted plan and specifically approved in writing by the ARC. Granting of such a variance will not modify or change any Guidelines as they apply to other Lots or conditions.

All variances shall be exercised within one (1) year from the date of approval or the variance shall be null and void. If an extension is needed, the Applicant/Builder must submit an application in writing, thirty (30) days prior to the expiration and for good cause, the ARC may grant an extension of time not to exceed one (1) year.

3.10 Construction Timeline

Construction of dwellings, which have received prior written approval or conditional approval by the ARC, shall commence within one (1) year of the permit date and shall be completed within one (1) year.

The ARC may grant an extension for construction on a case-by-case basis, but the request for an extension must be made at least thirty (30) business days prior to the conclusion of the completion deadlines noted above.

3.11 Inspection Procedures and Penalties

A. Lot Ribbon Inspection Procedures and Penalties (Including Builder Notice Signs)

A representative of the ARC must inspect the unimproved Lot, prior to any construction, to assess that the house and driveway layout and orientation have been properly ribboned (by the Builder's survey company) in conformance with the approved plans, permits and these Guidelines. The Builder is ultimately, solely responsible and solely liable for improvement of the Lot in conformance with the approved plans, permits and these Guidelines. No construction of any kind may be conducted without prior written approval from the ARC. Any improper and/or unauthorized construction on a Lot, at the Developer's sole discretion, may levy a two-hundred and fifty dollar (\$250) fine and twenty-five dollars (\$25) a day until construction ceases.

All Lots must have a Builder Notice Sign correctly displayed on the Lot from the time of the Lot Ribbon Inspection until final grading for Landscaping has started. At which time a permanent address plaque or numerals must be installed on the front elevation of the home.

Notice Signs are available, free of charge, at the Builder's Compound. For details please contact:

Brookfield Properties: On-Site Construction Manager

Information about the Notice Sign and how to correctly fill it out is available on the “Survey Ribboning & Builder Notice Sign before a Lot Ribbon Inspection” guide referenced below.

(Reference the online guide: “Survey Ribboning & Builder Notice Sign before a Lot Ribbon Inspection” available at www.KenAnderson.com > [Residential](#) > [Easton Park](#).)

B. Final Compliance Inspection Procedures, Penalties, and Variances

A representative of the ARC must inspect the improvements to verify that they have been constructed in conformance with the ARC approved plans and these Guidelines. The Final Compliance Inspection represents a selected portion of these Guidelines; it should not be considered as a total approval of these Guidelines. Inspections conducted by the ARC’s assigned representative are aesthetically based only and in no way, include inspections pertaining to code compliance or to the integrity of the home and/or improvements. Builders are solely responsible and solely liable for ensuring that all construction and/or improvements meet or exceed all applicable codes, good building practices and comply with all local and federal regulations, laws, etc. Each builder is ultimately responsible to make sure every home is built to be in full compliance with these Guidelines.

This Final Compliance Inspection does not constitute review, inspection or approval by any other applicable governing bodies, agencies, offices and/or entities, which Applicant/Builder is solely responsible for obtaining.

(1) Request for Initial Final Compliance Inspection

Once a home is completed, each Builder is solely responsible for making a request to the ARC for a Final Compliance Inspection, using the online request services at www.KenAnderson.com > [Residential](#) > [Easton Park](#). Request for a Final Compliance Inspection must be made at least seven (7) days before the home closes.

A final survey (including all fences, pools and other installed improvements) must be submitted to the ARC at the time the Final Compliance Inspection request is made. Anyone who fails to meet the requirements will be subject to a two-hundred and fifty (\$250.00) dollar fine, which may be deducted from the Builder’s construction deposit and/or damage deposit.

If the property does not pass its initial Final Compliance Inspection, the builder will have fourteen (14) days to correct all items listed on the Final Compliance Inspection report. It is the builder’s sole responsibility to request a re-inspection once the necessary corrections have been completed otherwise a re-inspection will be conducted automatically after the fourteen (14) days have expired.

(2) 2nd Final Compliance Inspection (Re-Inspection)

If the property does not pass its 2nd Final Compliance Inspection, the builder will have fourteen (14) days to correct all items listed on the Final Compliance Inspection report. It is the builder’s responsibility to request a re-inspection once the necessary corrections have been completed otherwise a re-inspection will be conducted automatically after the fourteen (14) days have expired.

If home is closed prior to re-inspection and the inspector needs access to areas of the property behind the front fence, the builder must acquire written approval from homeowner to allow ARC representative to access the exterior property to conduct inspection.

(3) 3rd Final Compliance Inspection (Re-Inspection)

The property will be inspected one (1) final time. If all outstanding items have not been corrected, the following may occur:

- (a) The builder will be issued a Final Compliance Inspection verdict of “Closed Non-Compliant” and a copy will be sent to the HOA.
- (b) All New Construction Submittals/Building Permits (starts) may be put on hold company-wide until all outstanding inspection items are brought into compliance.
- (c) Responsibility for bringing all outstanding items into compliance will transferred from the builder to the Homeowner and resolution may be enforced through the HOA as a request to comply with these Guidelines.
- (d) When necessary, the HOA will inform the Homeowners that the home was inspected multiple times to allow the builder to bring the outstanding items into compliance, and that it was the Builders sole responsibility to make sure that all construction requirements were met before the home closed.

3.12 Remedies

Additional remedies and enforcement rights may exist under the Covenants. The ARC and/or HOA may file suit to obtain an injunction mandating compliance with the Covenants and the Guidelines. The ARC and/or HOA has the further right, after proper notice to the Owner, to go onto the property where a violation exists, fix or remove the violation, and collect any costs incurred from the Owner.

3.13 Changes in Review Process

The ARC reserves the right to alter the review process in order to ensure an adequate review of all submissions while reasonably accommodating the needs of Applicants/Builders.

3.14 Governmental Regulations

The Covenants and these Guidelines are not intended to permit any action prohibited by applicable laws, rules, or regulations of any governmental authority. Where these Guidelines contain requirements in addition to or more restrictive than applicable governmental laws or regulations, the provisions of these Guidelines are binding and enforceable, and prevail over the requirements of such laws or regulations unless these Guidelines are expressly made unenforceable by law or judicial decisions.

3.15 Job Site Procedures

A. Trash Containment

All Lots under construction are required to have two (2) forms of trash receptacles on each lot (“Type A” & “Type B”). They must be kept on site and maintained during the construction process.

(1) Type A

Refers to a trash bin that will be used to contain trash material that will most likely be wind-blown from the construction of the home. This material includes, but is not limited to shingles, insulation, a/c ducts, and mortar bags. Material such as interior trim and tile will also be placed in this trash bin.

The three (3) sided trash bin will have an eight by eight (8’ x 8’) footprint and be made up of four foot by eight foot (4’ x 8’) (natural or black painted) solid wood material panels. The open side must always face the front of the house, away from the street. On Corner Lots this trash bin must be four (4) sided.

Heavy material such as lumber and brick should be placed in a single pile on the Lot under construction. Any additional small debris left over after trash pick-up should be placed in a trash bin. No random material should be left out around the house.

(2) Type B

Refers to a trash bin that will be used to contain trash from labor and trade personnel working on the job site (plates, cans, food trash, etc.). This trash bin will be a fifty-gallon (50) plastic drum or similar product that functions in the same capacity. Daily clean up food trash is required in order to reduce the amount of trash that is blown into the streets and neighborhood.

Each builder is solely responsible for enforcing the daily clean-up of food trash and making sure that all construction trash around the house is contained.

B. Concrete Washout

All concrete washouts shall be either wood formed and lined with tarp or Eco Pan (or Eco Pan equivalent) on a Lot which the Builder owns. Additionally, concrete washouts should be located (whenever possible) on Lots which have low traffic and/or visibility to the general public. Concrete washouts shall not be located on Corner Lots and shall have an erosion barrier installed and maintained solely by the Builder at all times. A Builder Notice Sign is required on Lots with concrete washouts. Each builder is solely responsible to ensure that all washout construction shall comply with TCEQ and EPA requirements.

C. Silt/Mud in Street

Each builder is solely responsible for ensuring that every Lot under construction has a silt fence installed along the entire street facing portion of the Lot and have at least two (2') foot returns at termination points. One (1), sixteen (16') foot maximum width access point may be utilized (generally the future driveway location), which must employ a proper erosion barrier, such as: rip-rap, wood chips, etc.

Unacceptable erosion barriers at access points include, but are not limited to: Curlex, sod, sandbags and back-cutting the dirt directly behind the curb.

All erosion barriers must be maintained and any silt or mud that develops must be removed immediately whenever possible and no later than the end of construction hours for that day.

Each builder is also solely responsible for repairing any silt fence that is damaged on an adjacent Lot during construction. This also includes the removal of any dirt or mud that accumulates in the street from access to a home under construction via an adjacent Lot.

Erosion barriers must meet or exceed minimum requirements of all applicable governing bodies, agencies, offices and/or entities.

D. Damage to Common Areas and/or Cul-de-Sac Island(s)

The builder is solely responsible for any damages incurred on the common areas and or cul-de-sacs sustained by the builder and/or their subcontractors or delivery trucks. This includes, but is not limited to ruts, planting damage, curb damage and/or irrigation damage. The builder will either be asked to replace or repair the damaged material or be billed for any damages.

E. Lot Mowing

Each builder is solely responsible for ensuring that the Lots they own are maintained and mowed on at least a monthly basis or as necessary as determined by the ARC and/or the Developer.

IV. Exhibits & Diagrams

All exhibits & diagrams will be found on the pages that follow.



The Craftsman style of architecture results in natural, warm, livable buildings characterized by horizontal forms and simple shapes.

This style remains popular due to its timeless feel, but is not considered traditional. Roofs are gently pitched gables (occasionally hipped) with wide, unenclosed eave overhangs.

Exposed, extended, or elaborated roof rafters may also be used. Dormers are usually gabled or shed.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One, one and a half, and two story massing.
Roofs	Low to moderately pitched, gable or shed dormers, clipped gables with shake siding.
Porches	Integral part of house, tapered columns with brick/stone base, exposed truss at porch entry.
Chimneys	Natural or dressed stone exposed or centered within structure.
Windows	Divided grids/panes, grids in upper portion of window, vertical proportions, projecting bays (without angles) extending to foundation, boxed windows.
Entry Doors	Entry door with glazing on upper part of door.
Garage Doors	
Details	Knee bracing or other bracket detailing at top of column, exposed, extended or elaborated rafter tails, contrasting color on trim, fascia, post and exposed beams, decorative trim at windows and doors, V-groove siding as porch ceiling treatment.
Materials	Brick or stone as foundation finished material, brick or stone wainscot.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	



The modern farmhouse is a contemporary play on a traditional design. It evokes a nostalgic feeling of warmth and comfort of days-past by reshaping it with clean lines and simple materials for a fresh design.

Homes are typically one and two story dwellings with distinct elements such as oversized openings, light walls, gabled roofs and large porches and patios.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One and two story massing.
Roofs	Sheet metal roof, exposed rafter tails, street/side facing gable, shed or gable dormers, gables.
Porches	Front porch wraps around to side for veranda view, designed to allow for indoor/outdoor living, V-groove siding at porch ceiling, open truss at porch entry area.
Chimneys	Design compatible with house design.
Windows	Large, minimal 1-2 panes per sash or fixed window, integrated window overhangs (complimentary to roof design), metal awnings with metal brackets.
Entry Doors	Double or wider door with multi-paned glass accents on each door.
Garage Doors	Glass panel (frosted or opaque) accents in garage door.
Details	Clean, simple lines and shapes.
Materials	Vertical siding on all sides, horizontal siding as accents to add balance, metal or stone accents.
Colors	Reference "Color Scheme Examples" Exhibit(s).
Other	Columns generally square, simply detailed, flat roof/arbor at covered patio at rear, raised plate heights at front elevation with single story flat porch/transoms above porch roof area.



Transitional homes combine traditional and modern styles to create a cohesive and clean feel, facilitating modern living. Lack of ornamentation and decoration keeps focus on the architecture.

Widely used features include dormers, shallow porches, tall entries often two stories in height, and complex roof forms.

Exterior wall cladding materials are often intermixed. Rear facades offer full interaction with backyards and views through large windows, complete window walls, porches, balconies, decks and terraces.



STYLE ELEMENTS	ARCHITECTURAL FEATURES
Building Masses	One and two story massing.
Roofs	Hip roof with gable off of the front, street facing gable, gable dormers.
Porches	Not the main element of this style.
Chimneys	Design compatible with house design.
Windows	Large window, bottom sash window usually 1 light, one over one window lights.
Entry Doors	Traditional Solid Panel / Wood.
Garage Doors	Glass panel accent in garage door.
Details	Clean simple lines and shapes, clean brackets.
Materials	Horizontal siding and brick accents.
Colors	Follow Contemporary + Modern Color Scheme. Reference "Color Scheme Examples" Exhibit(s).
Other	Hardy wrapped columns and generally square and simply detailed.

Modern Farmhouse - Color Palette



BODY					
TRIM					
ACCENT					

Craftsman - Color Palette

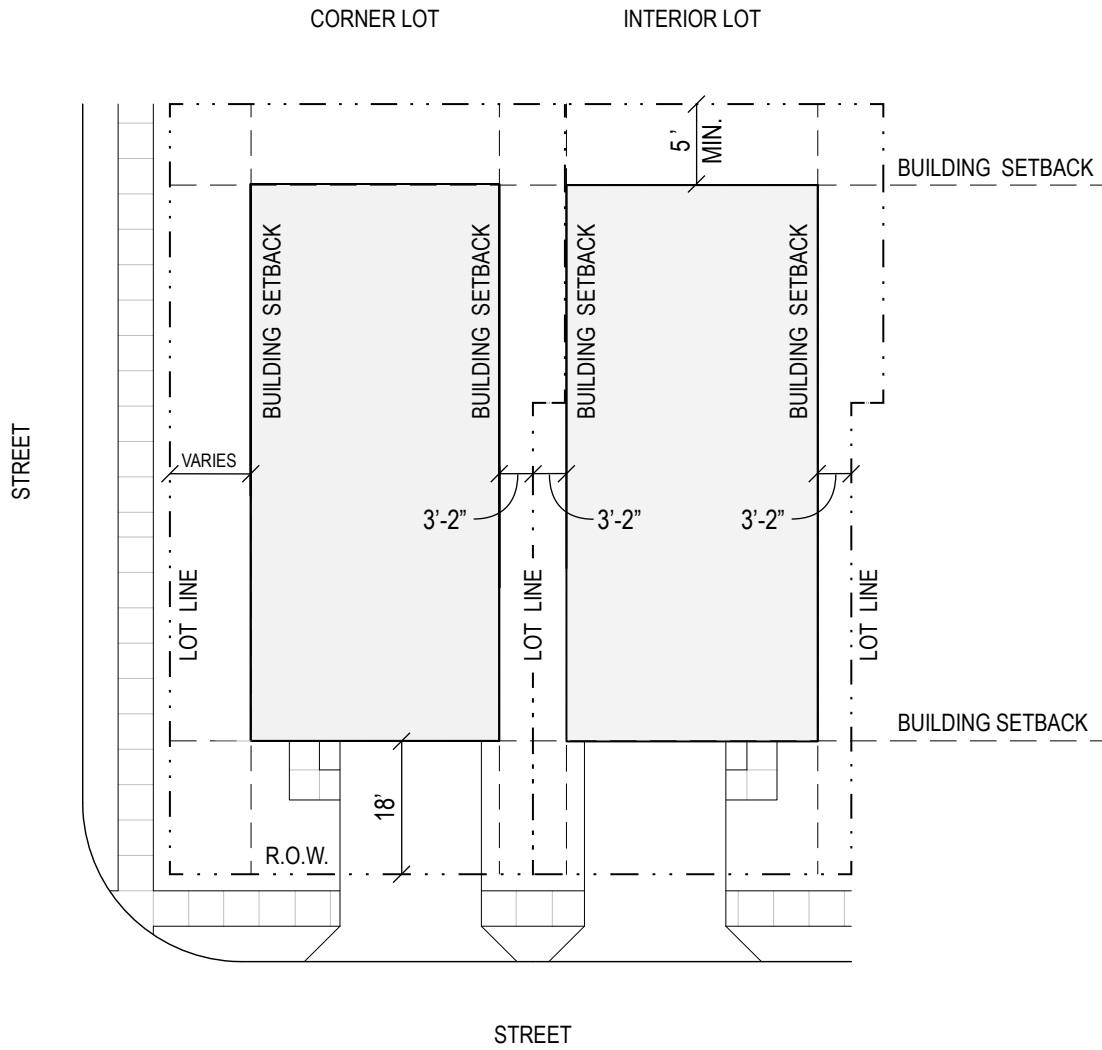


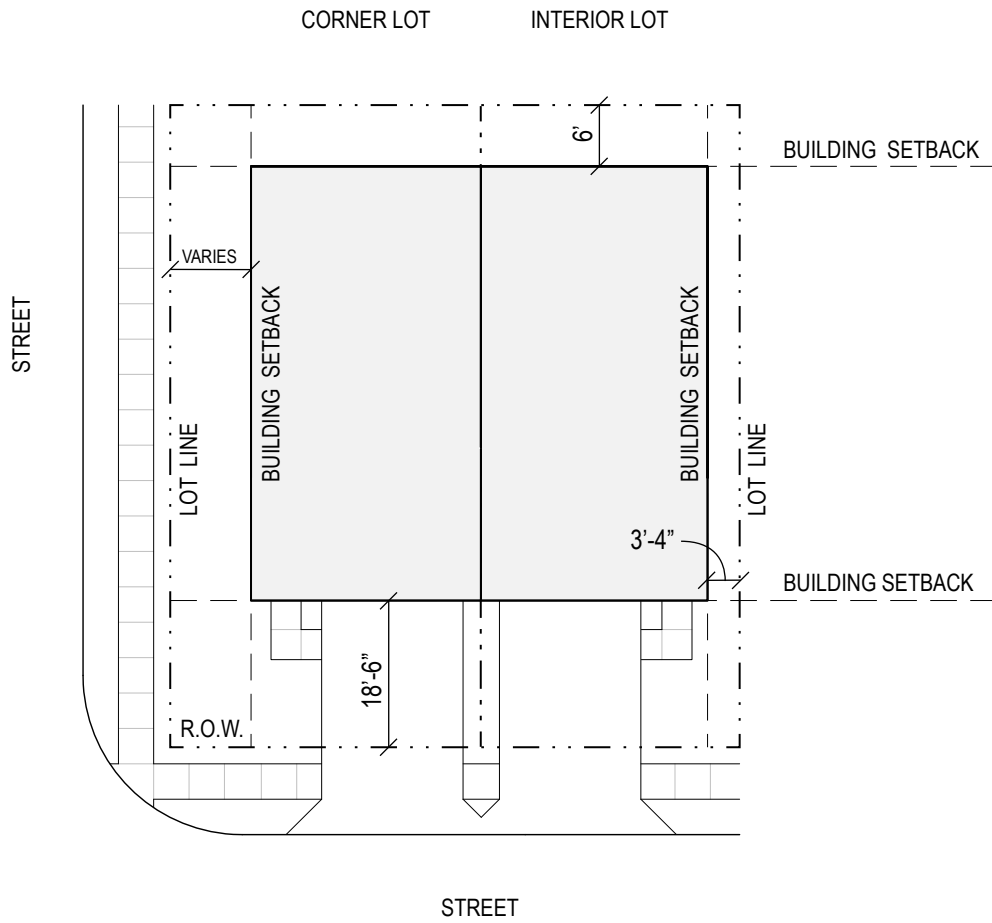
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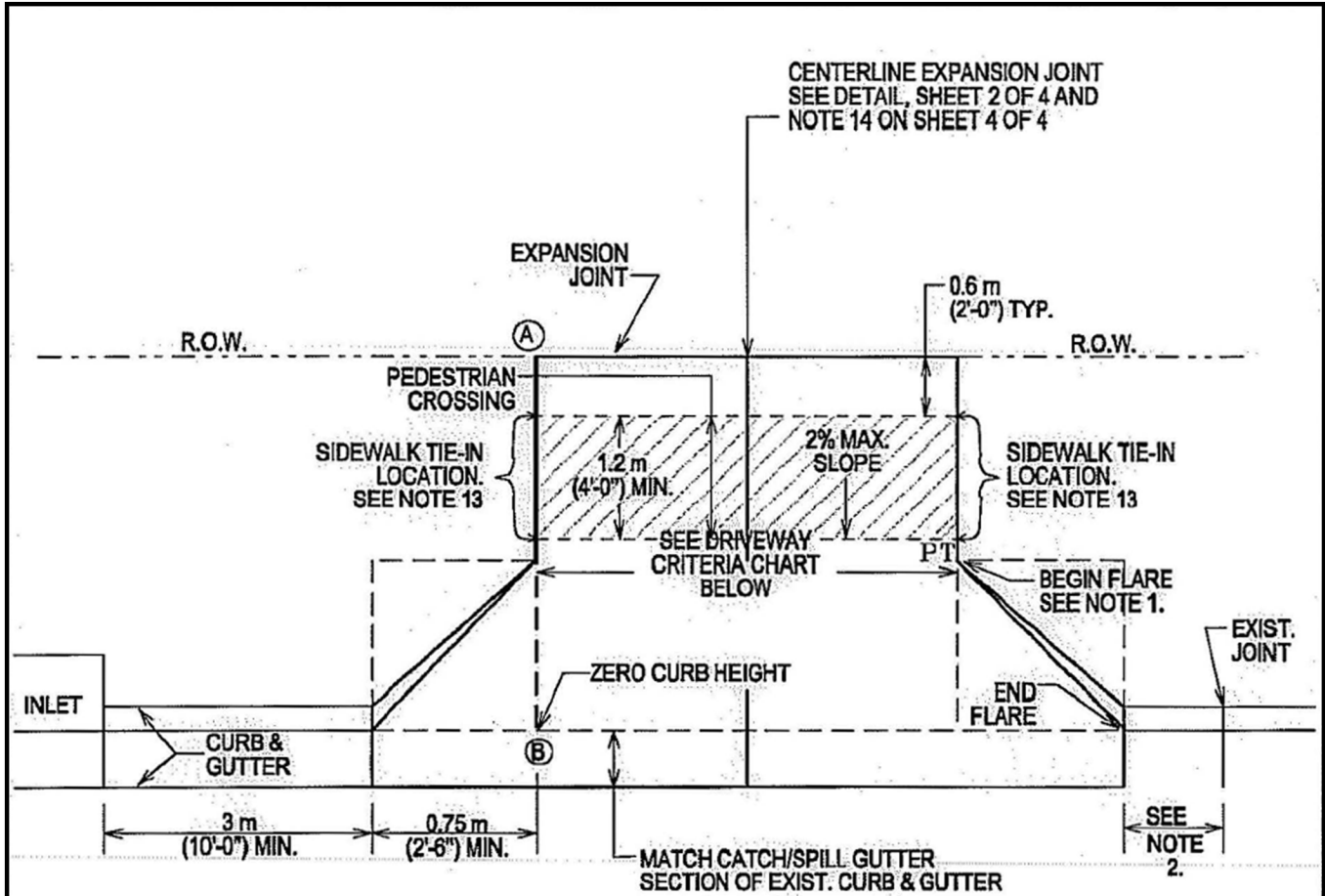
Transitional - Color Palette



BODY					
TRIM					
ACCENT					





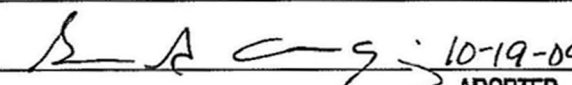


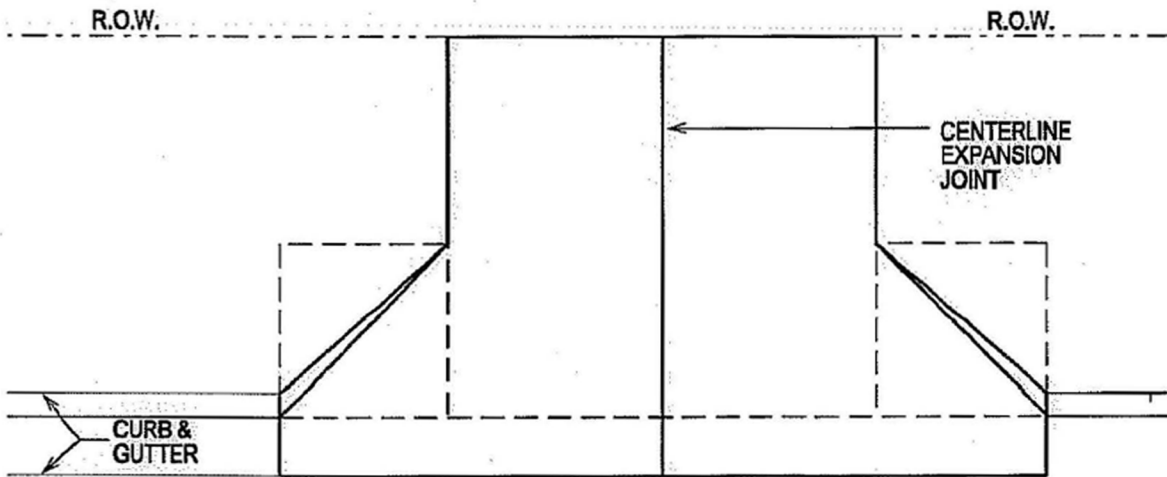
PLAN

NOTE: ALL DRIVEWAYS SHALL BE SLOPED TOWARDS THE STREET FROM THE R.O.W. LINE. ELEVATION OF POINT (A) ABOVE POINT (B) IS, TYPICALLY A MINIMUM OF 150 mm (6") PLUS 20 mm/m (1/4" RISE/FOOT) OVER DISTANCE "X" IN METERS (FEET).

DRIVEWAY CRITERIA	WIDTH METERS (FEET)		
	MIN.	*OPT.	MAX.
SINGLE FAMILY	3.66 (12)	5.50 (18)	11.80 (25)
DUPLEX	4.56 (15)	5.50 (18)	11.80 (25)
TOWN HOME	4.56 (15)	5.50 (18)	11.80 (25)

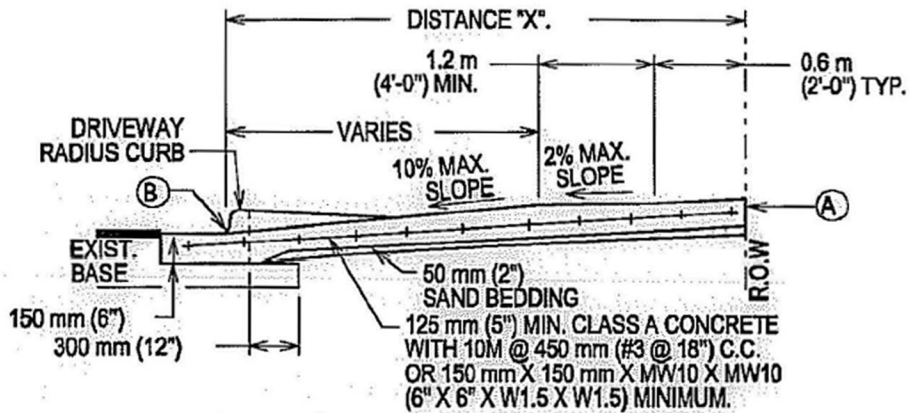
*OPTIMUM

CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS	FLARED TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)	STANDARD NO. 433S-1A 1 OF 4
 10-19-09 ADOPTED		THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.



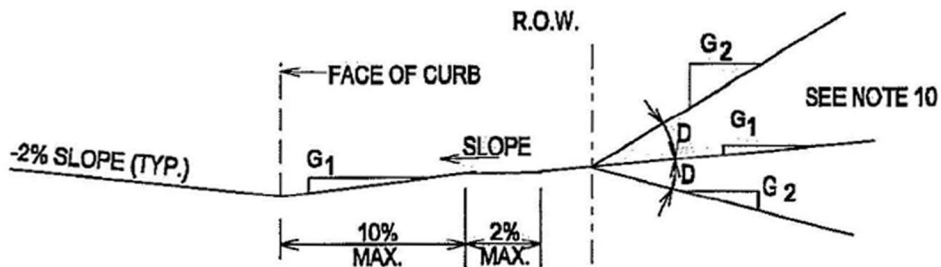
PLAN

<p>CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS</p>	<p>FLARED TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)</p>	
<p><i>[Signature]</i> 10-19-09 ADOPTED</p>	<p>THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.</p>	<p>STANDARD NO. 433S-1A 2 OF 4</p>



REINFORCEMENT SHALL ACCURATELY PLACED AT SLAB MID-DEPTH AND HELD FIRMLY IN PLACE BY MEANS OF BAR SUPPORTS OF ADEQUATE STRENGTH AND NUMBER THAT WILL PREVENT DISPLACEMENT AND KEEP THE STEEL AT ITS PROPER POSITION DURING THE PLACEMENT OF THE P.C. CONCRETE. IN NO INSTANCE SHALL THE STEEL BE PLACED DIRECTLY ON THE SUBGRADE OR SAND CUSHION LAYER.

CROSS SECTION

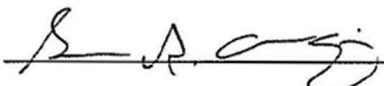


ALLOWABLE GRADES

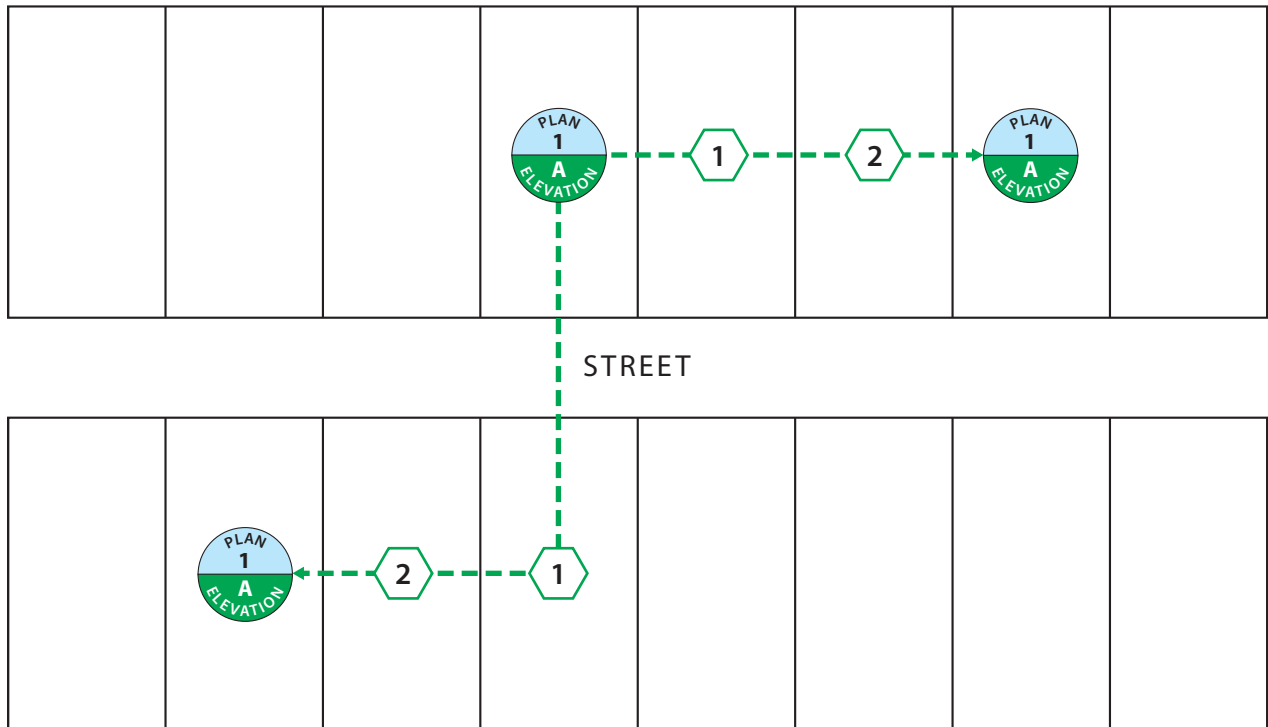
<p>CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS</p>	<p>FLARED TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)</p>	
<p><i>[Signature]</i> 10-19-09 ADOPTED</p>	<p>THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.</p>	<p>STANDARD NO. 433S-1A 3 OF 4</p>

NOTES:

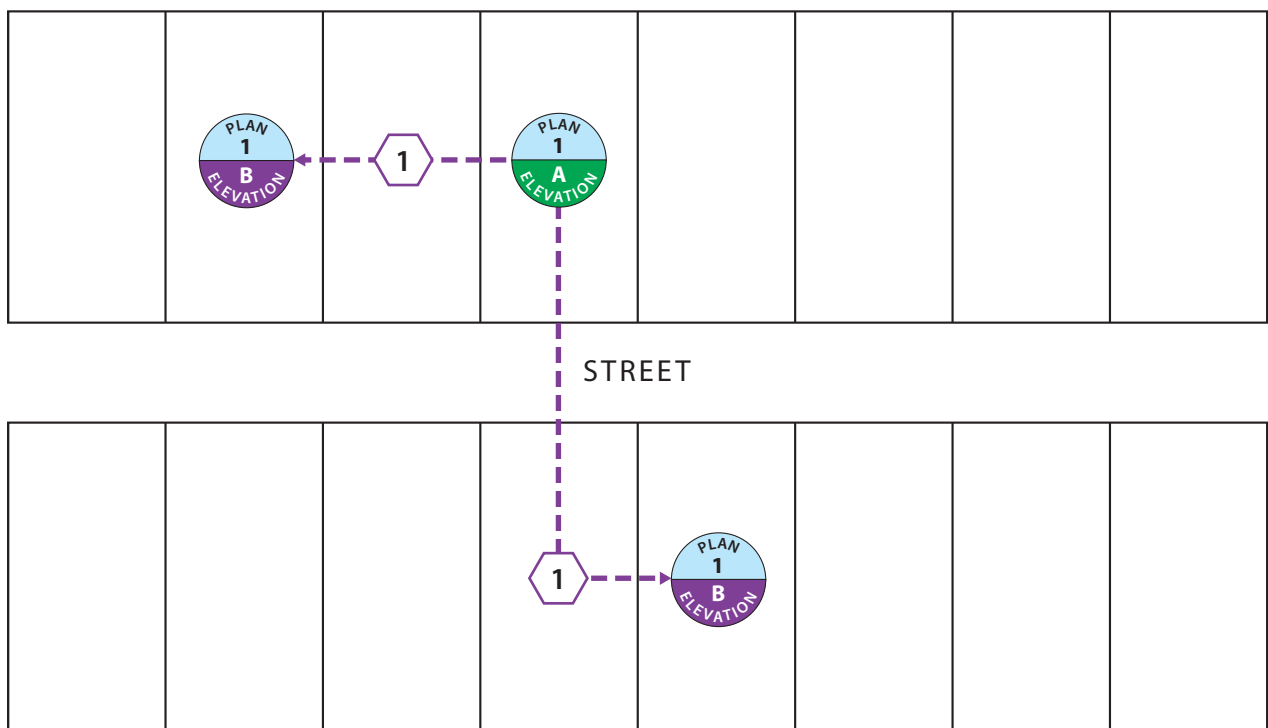
1. "ZERO" CURB AT BEGINNING OF FLARE OR SIDEWALK EDGE, WHICHEVER IS ENCOUNTERED FIRST. THE DRIVEWAY EDGE SHALL BE SMOOTHLY TRANSITIONED INTO THE SIDEWALK BEGINNING AT THE END OF FLARE.
2. IF DIMENSION IS LESS THAN 1.5 METERS (5 FEET), REMOVE CURB AND GUTTER TO EXISTING JOINT AND POUR MONOLITHICALLY WITH THE DRIVEWAY.
3. IF THE BASE MATERIAL UNDER AND BEHIND THE CURB IS OVER-EXCAVATED WHERE THE CURB AND GUTTER WAS REMOVED, BACKFILL WITH CONCRETE MONOLITHICALLY WITH THE DRIVEWAY.
4. ALL DRIVEWAYS MUST BE CONSTRUCTED WITHIN THE STREET FRONTAGE OF THE SUBJECT PROPERTY AS DETERMINED BY EXTENDING THE SIDE PROPERTY LINES TO THE CURB.
5. DRIVEWAYS SHALL NOT EXCEED 70% OF A LOTS' STREET FRONTAGE.
6. TYPE I DRIVEWAYS ARE TO BE LOCATED NO CLOSER TO THE CORNER OF INTERSECTING RIGHTS-OF-WAY THAN 60% OF PARCEL FRONTAGE OR 15 METERS (50 FEET); WHICHEVER IS LESS.
7. DRIVEWAYS SHALL NOT BE CONSTRUCTED WITHIN THE CURB RETURN OF A STREET INTERSECTION.
8. SINGLE FAMILY LOTS LIMITED TO ONE DRIVEWAY EXCEPT FOR APPROVED SEMICIRCULAR DRIVES.
9. WHEN TWO DRIVEWAYS ARE USED (ONE PER UNIT; TWO MAXIMUM) FOR DUPLEXES AND TOWN HOMES, SINGLE FAMILY STANDARDS SHALL APPLY.
10. WHILE THE PROPERTY OWNER REMAINS RESPONSIBLE FOR GRADE BREAKS WITHIN PRIVATE PROPERTY, THE FIRE DEPARTMENT SHOULD BE CONSULTED WHERE THE DRIVEWAY IS ESSENTIAL TO EMERGENCY VEHICLE ACCESS AND "G2" IS GREATER THAN 15%. "G1" PLUS "D" SHOULD NOT EXCEED 15%.
11. SEE TRANSPORTATION MANUAL SECTION 5 FOR OTHER DRIVEWAY REQUIREMENTS.
12. USE 12 mm (½") ASPHALT BOARD, OR OTHER APPROVED MATERIAL, FOR CURB AND GUTTER EXPANSION JOINTS.
13. THE SIDEWALK, REGARDLESS OF ITS LOCATION WITH RESPECT TO THE CURB OR PROPERTY LINE, SHALL BE CONNECTED TO THE DRIVEWAY AT THESE LOCATIONS.
14. PLACE AN EXPANSION JOINT DOWN THE CENTER OF ALL DRIVEWAYS.
15. WATER METER BOXES AND WASTEWATER CLEAN OUTS ARE PROHIBITED FROM BEING LOCATED IN DRIVEWAY AREAS.

<p align="center">CITY OF AUSTIN DEPARTMENT OF PUBLIC WORKS</p>	<p align="center">FLARED TYPE I DRIVEWAY (1 & 2 FAMILY RESIDENTIAL USE ONLY)</p>	
 <p align="right">10-19-09 ADOPTED</p>	<p>THE ARCHITECT/ENGINEER ASSUMES RESPONSIBILITY FOR APPROPRIATE USE OF THIS STANDARD.</p>	<p align="center">STANDARD NO. 433S-1A 4 OF 4</p>

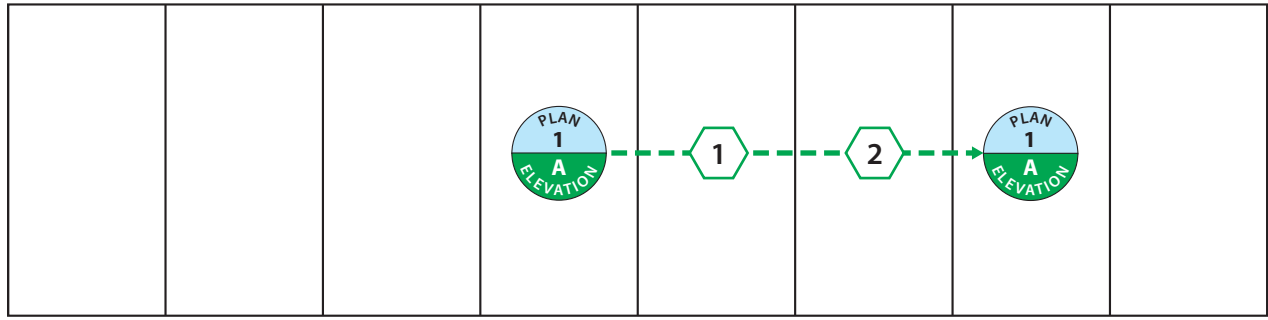
SAME PLAN / SAME ELEVATION



SAME PLAN / DIFFERENT ELEVATION

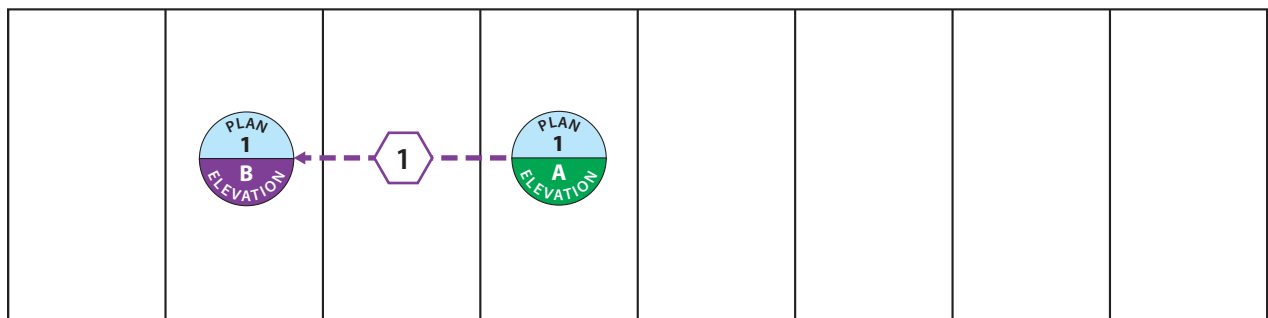


SAME PLAN / SAME ELEVATION



STREET

SAME PLAN / DIFFERENT ELEVATION



STREET