

EASTON PARK

Residential Development Guidelines



2C

Kieke Park

UPDATE NOTES:

11-12-2021

Please note, the **ONLY** updates since this document's previous version (published on 03-10-2021) are the blue highlighted items found on the following pages. Pages with a blue highlighted circle on the page number indicate that the entire page is NEW.

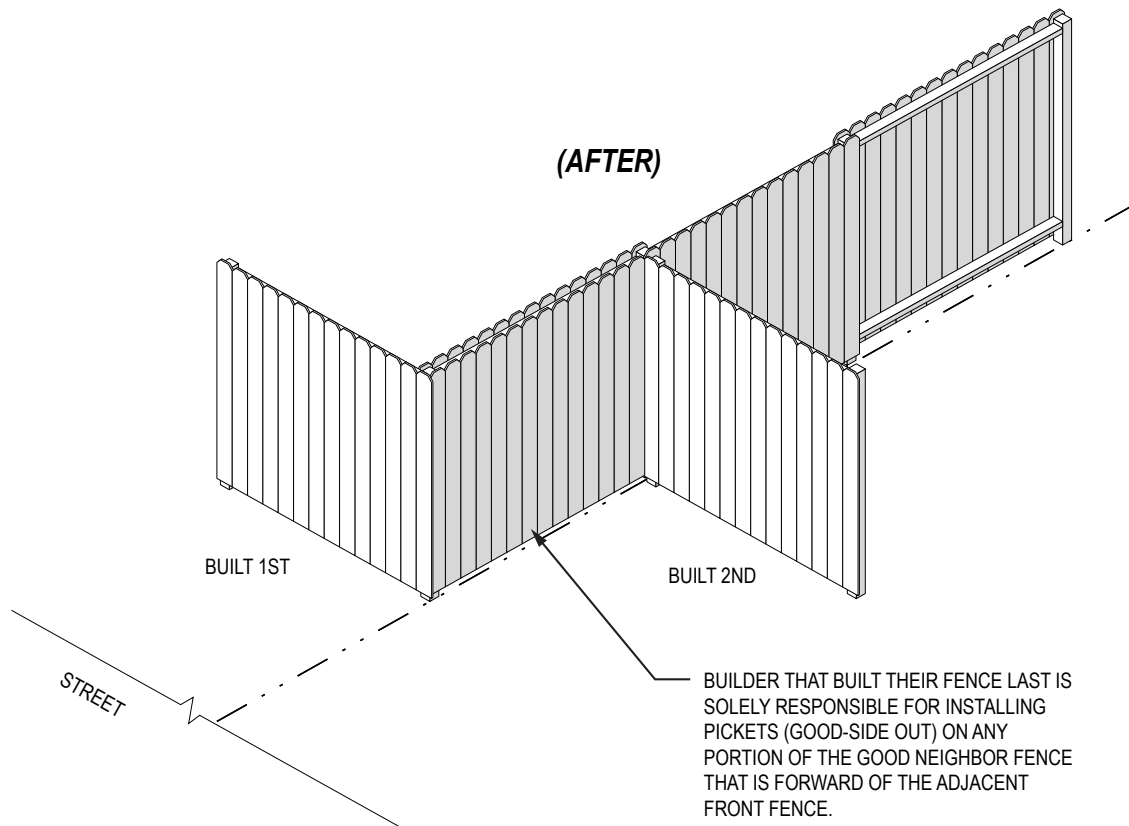
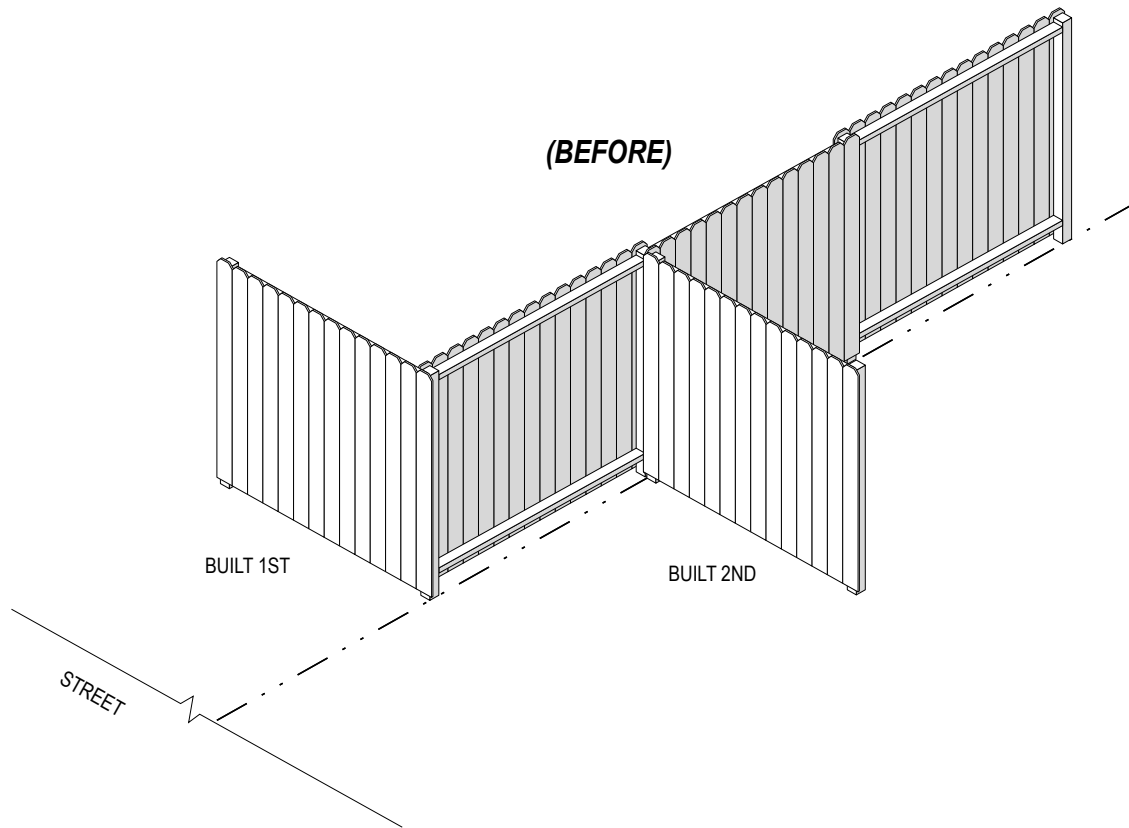
Pink highlights indicate a previously published update.

Be sure to download the full "Development Guidelines for Kieke Park (2C) - 11-12-2021).

Available on the Easton Park (Residential) page at www.KenAnderson.com

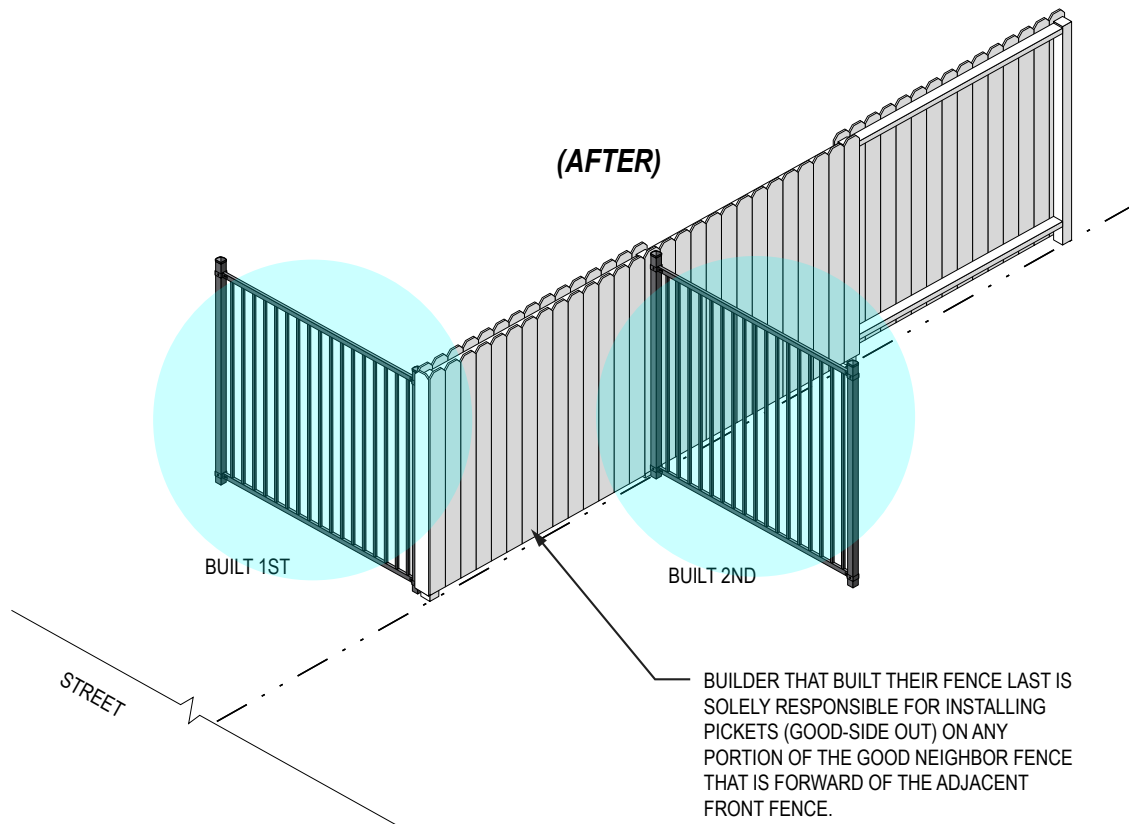
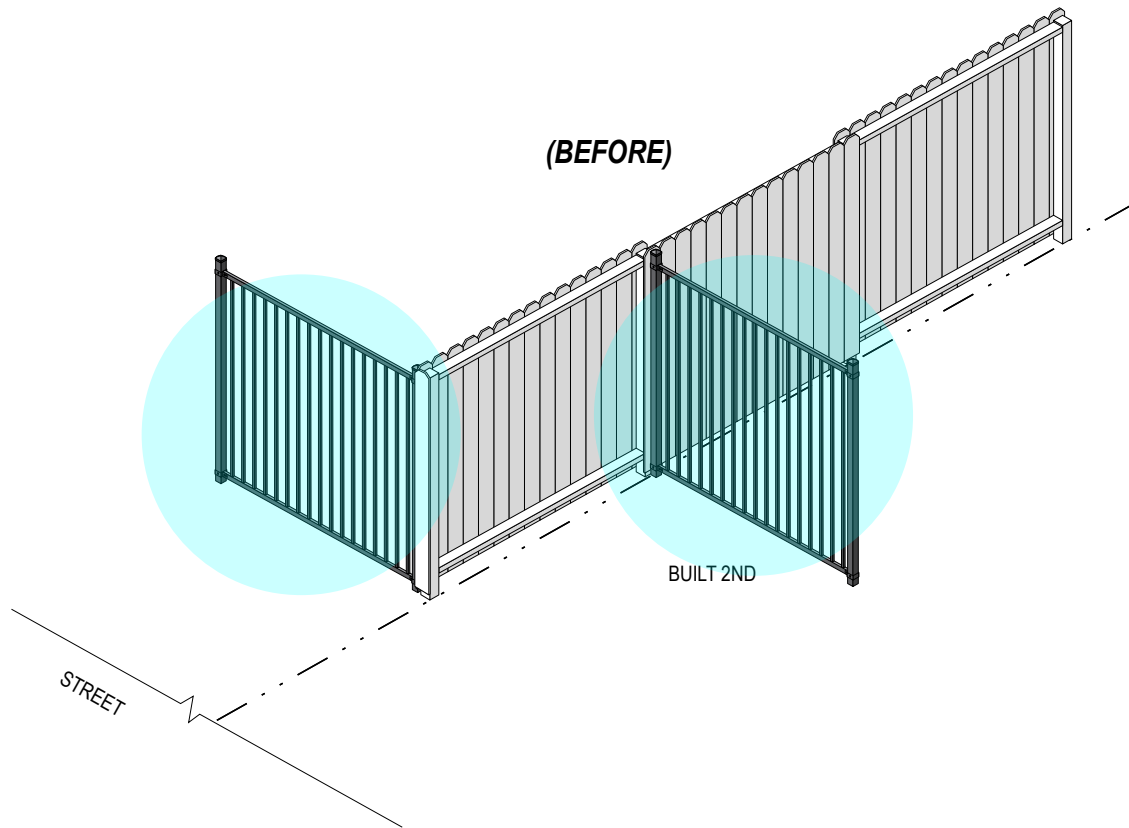
NEW UPDATE(S)

The following pages contain
the most recent updates to the Guidelines.

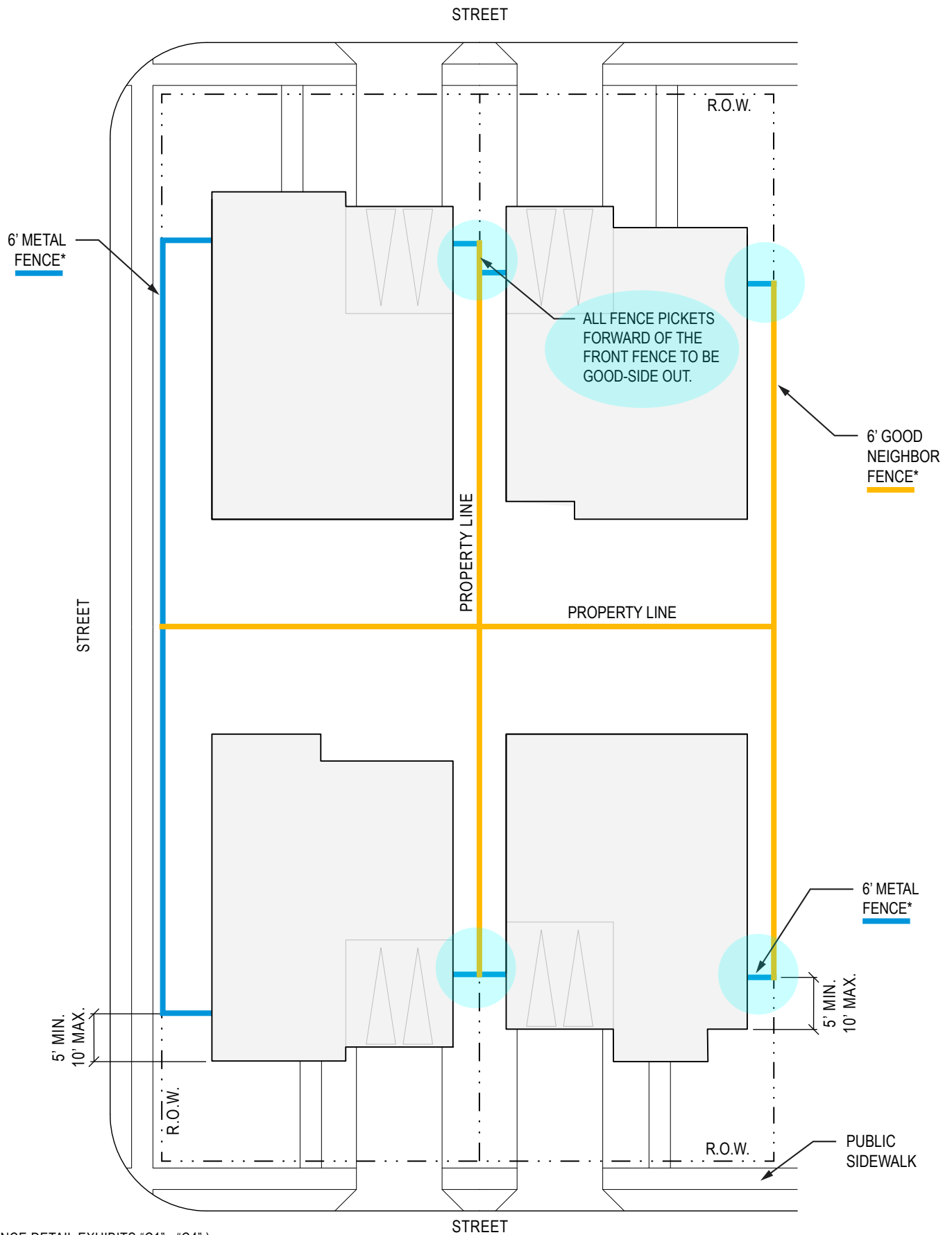


FENCE DETAIL: 6' WOOD, GOOD NEIGHBOR SHARED SIDE FENCE WITH 6' METAL FRONT FENCES
(SOLID PICKET RETURN - OFFSET NEIGHBORING FRONT FENCES)

SCALE: NTS

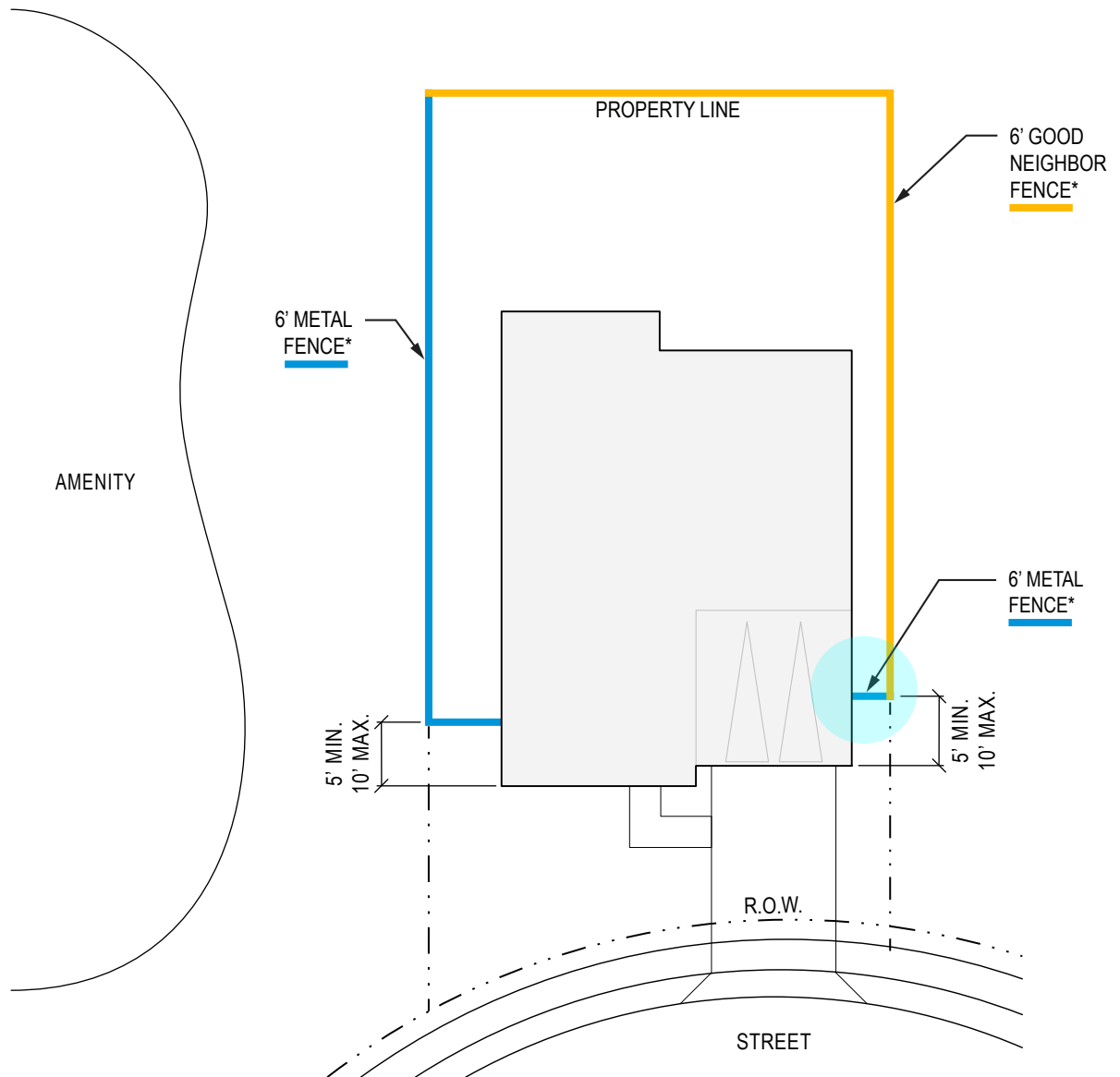


BUILDER THAT BUILT THEIR FENCE LAST IS SOLELY RESPONSIBLE FOR INSTALLING PICKETS (GOOD-SIDE OUT) ON ANY PORTION OF THE GOOD NEIGHBOR FENCE THAT IS FORWARD OF THE ADJACENT FRONT FENCE.



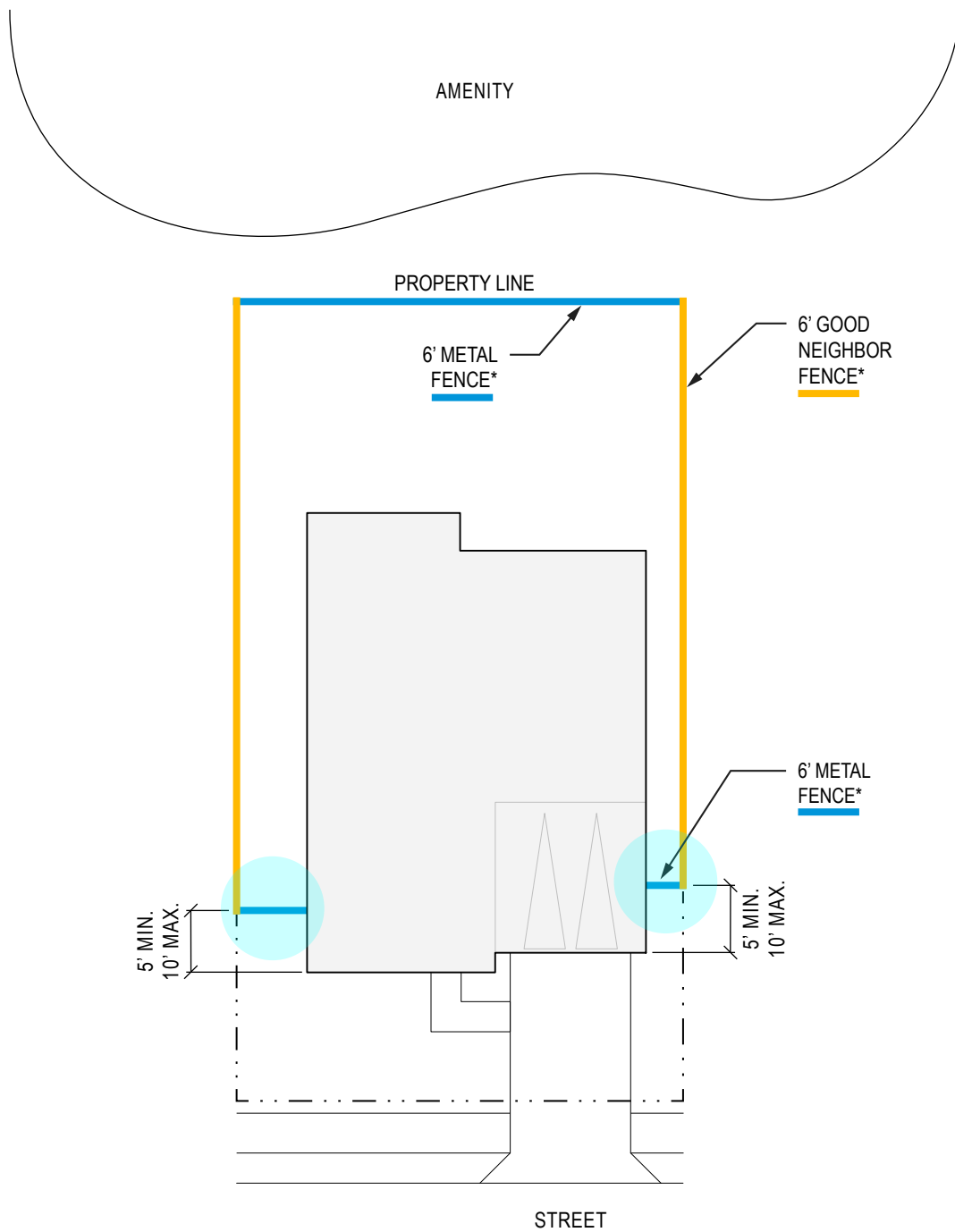
(*SEE FENCE DETAIL EXHIBITS "C1" - "C4".)

(SOME FENCE TYPES ON PARTICULAR LOTS MAY VARY. PLEASE SEE "SECTION FENCE & DRIVEWAY LAYOUTS" TO ENSURE CORRECT FENCE TYPE AND LOCATION.)



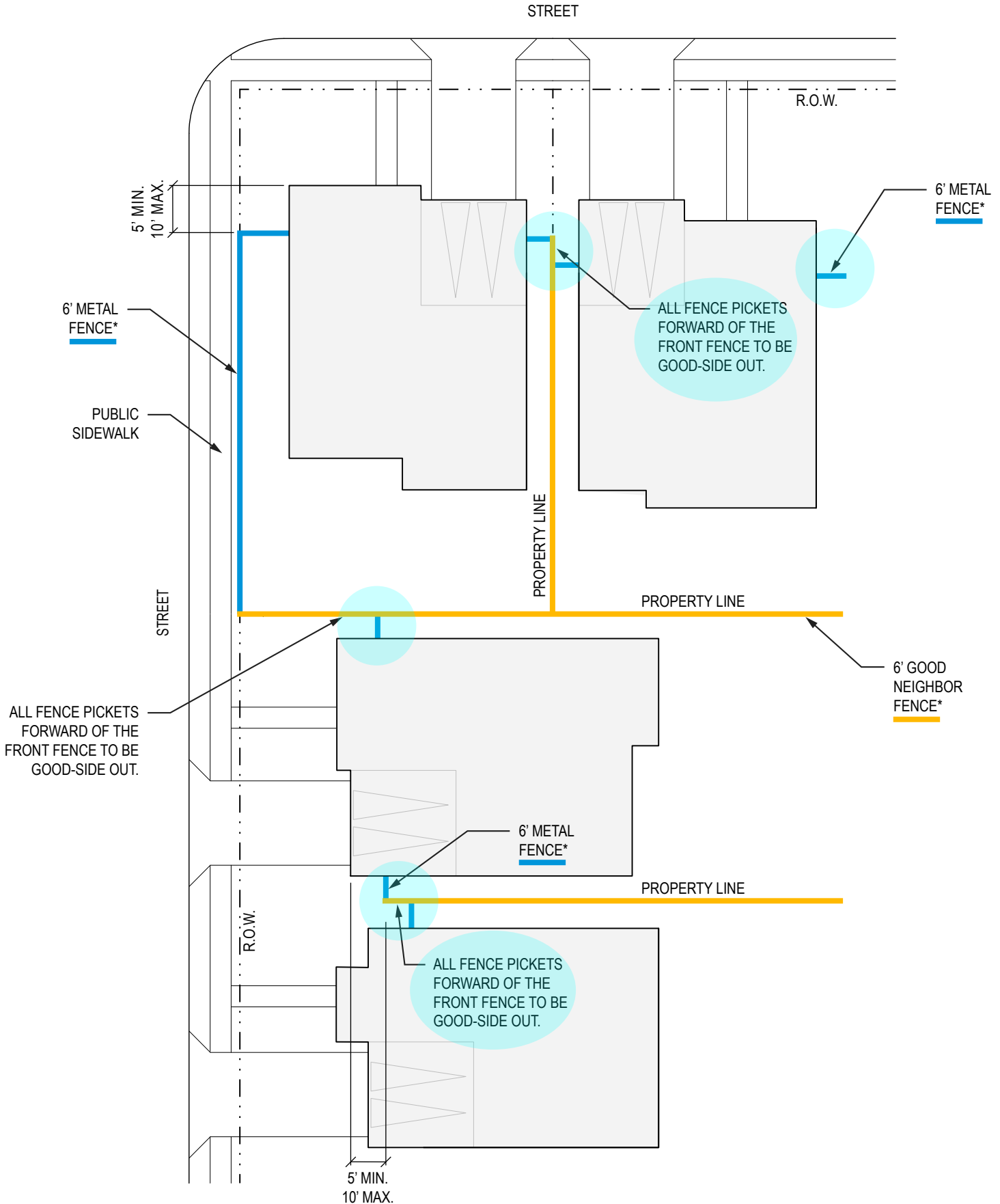
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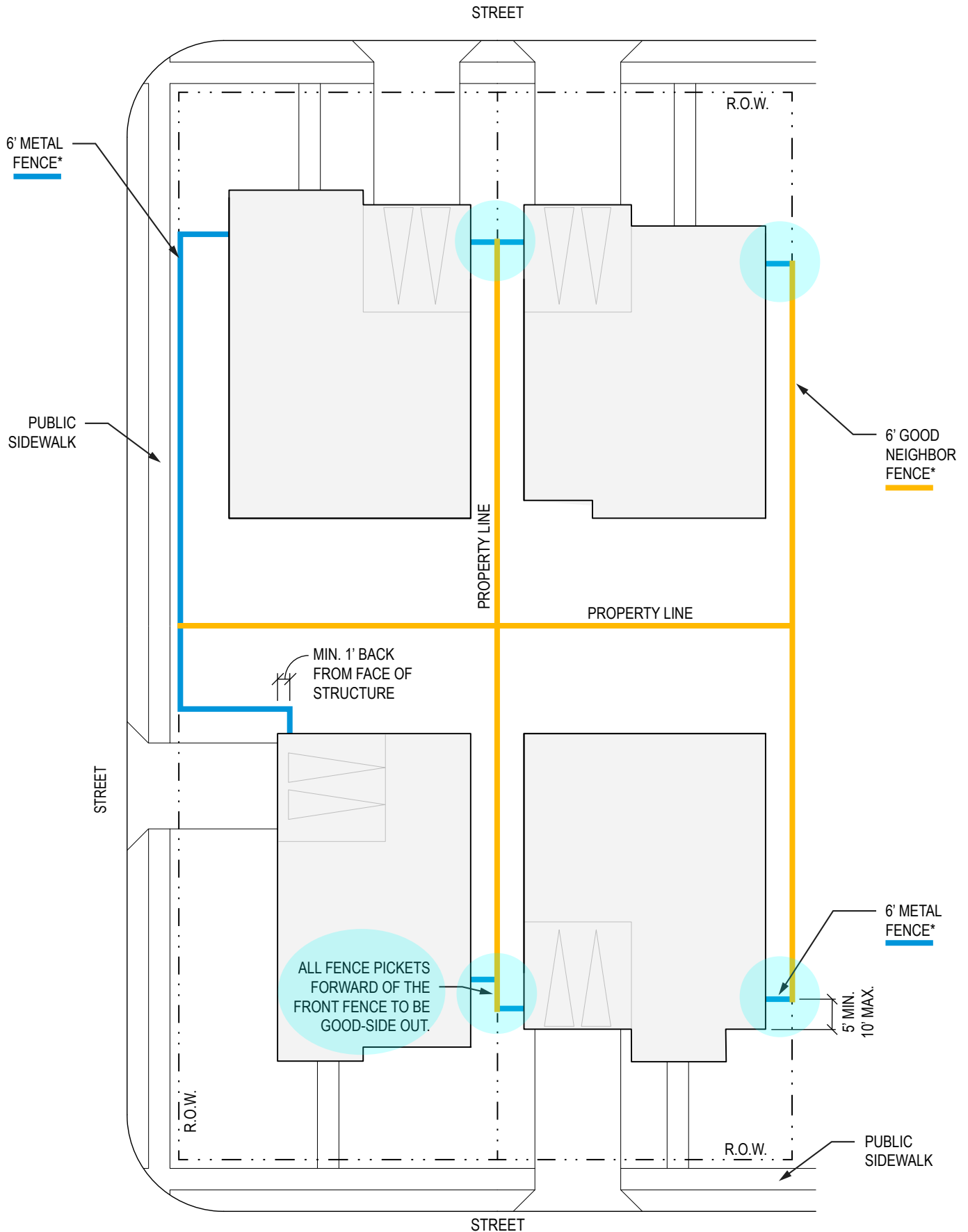
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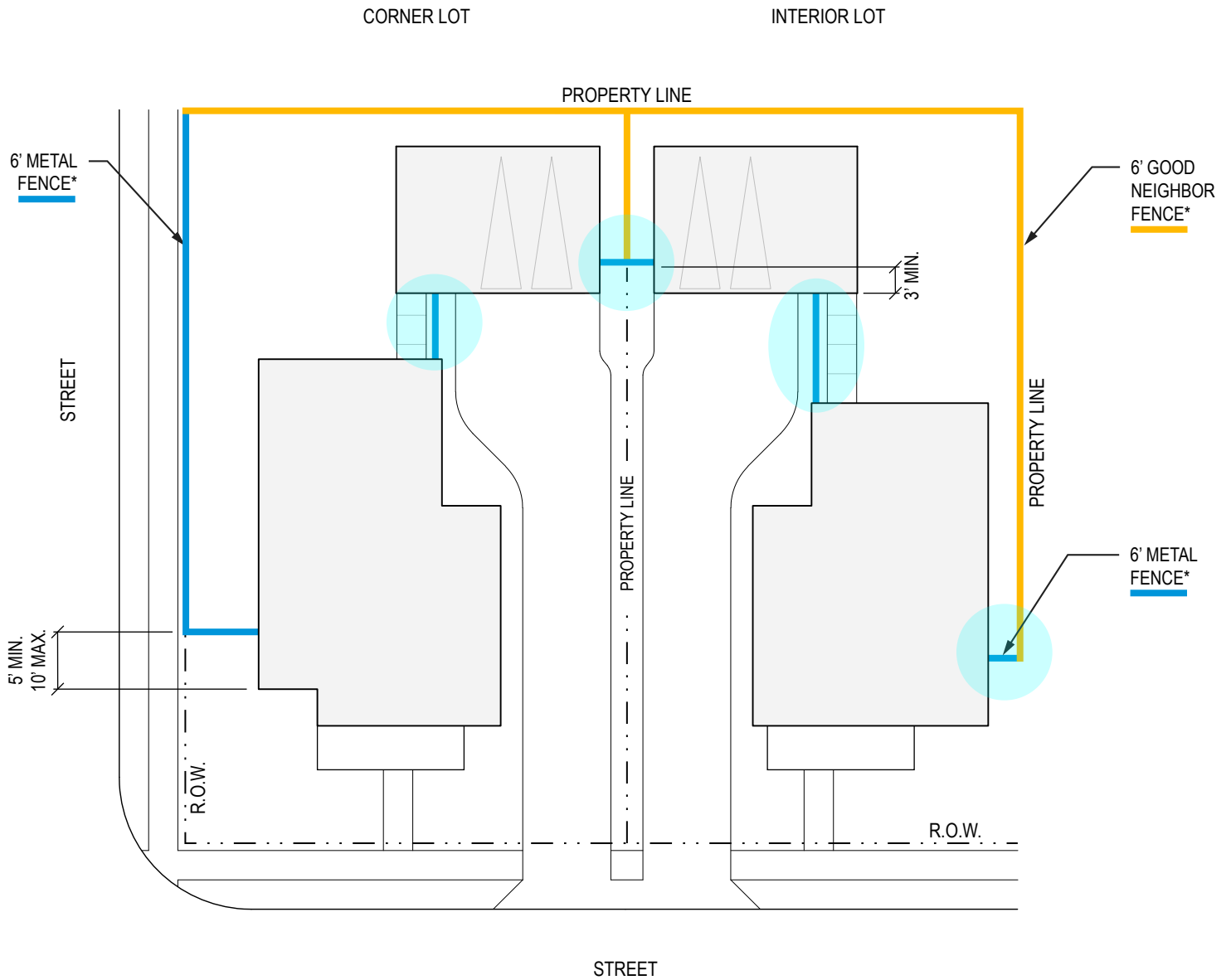
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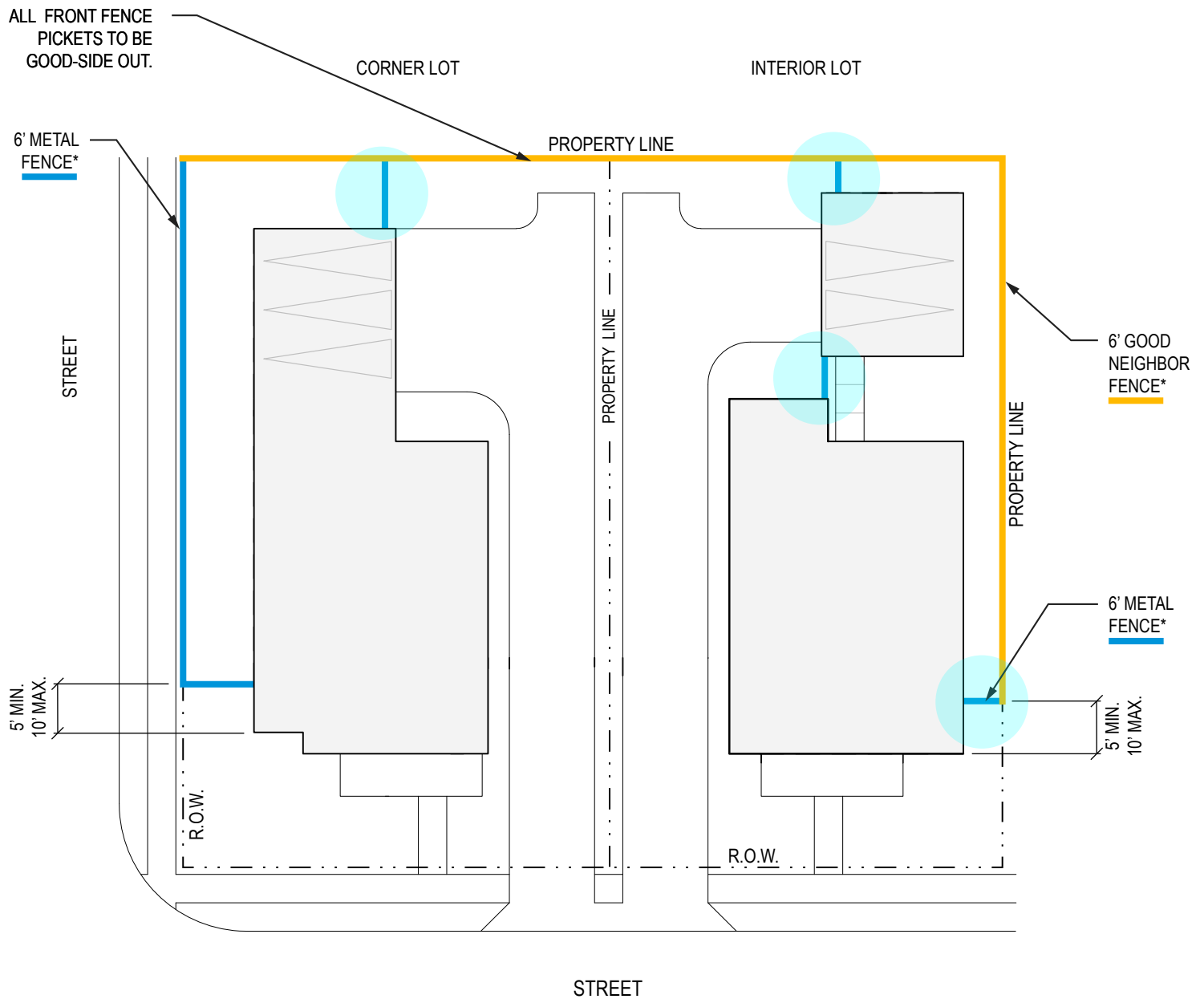
(*SEE FENCE DETAIL EXHIBITS "C1" - "C4".)

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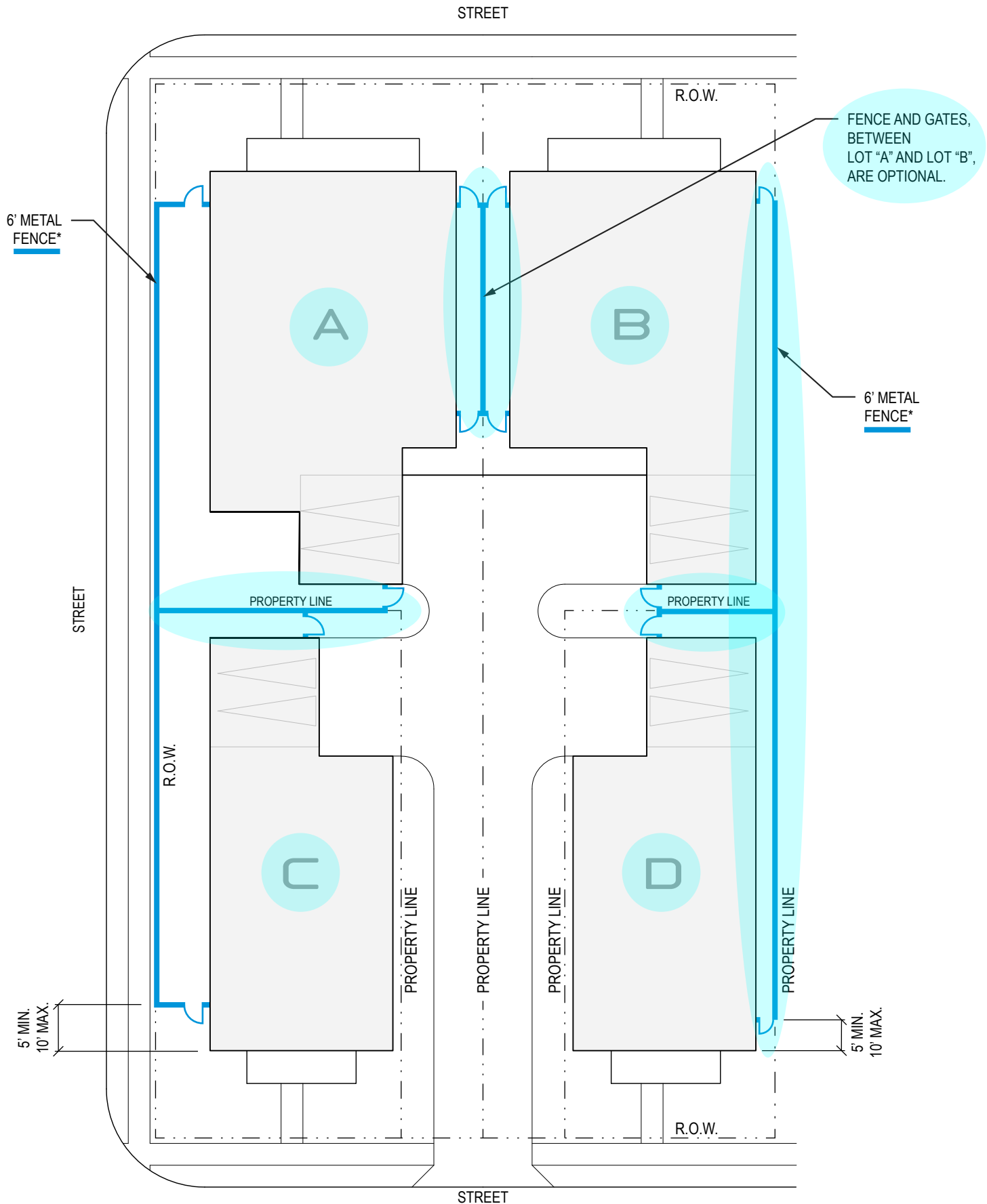
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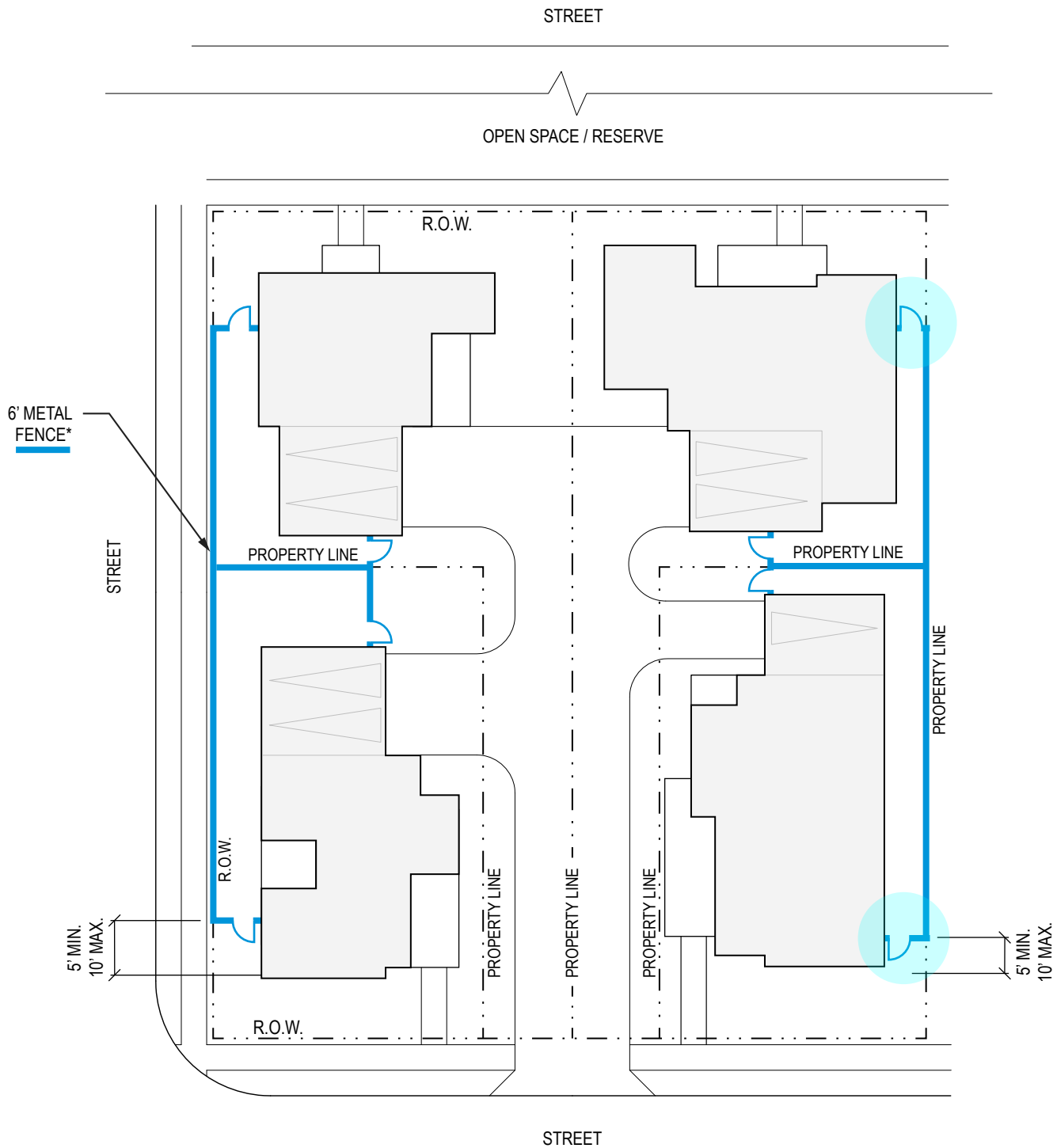
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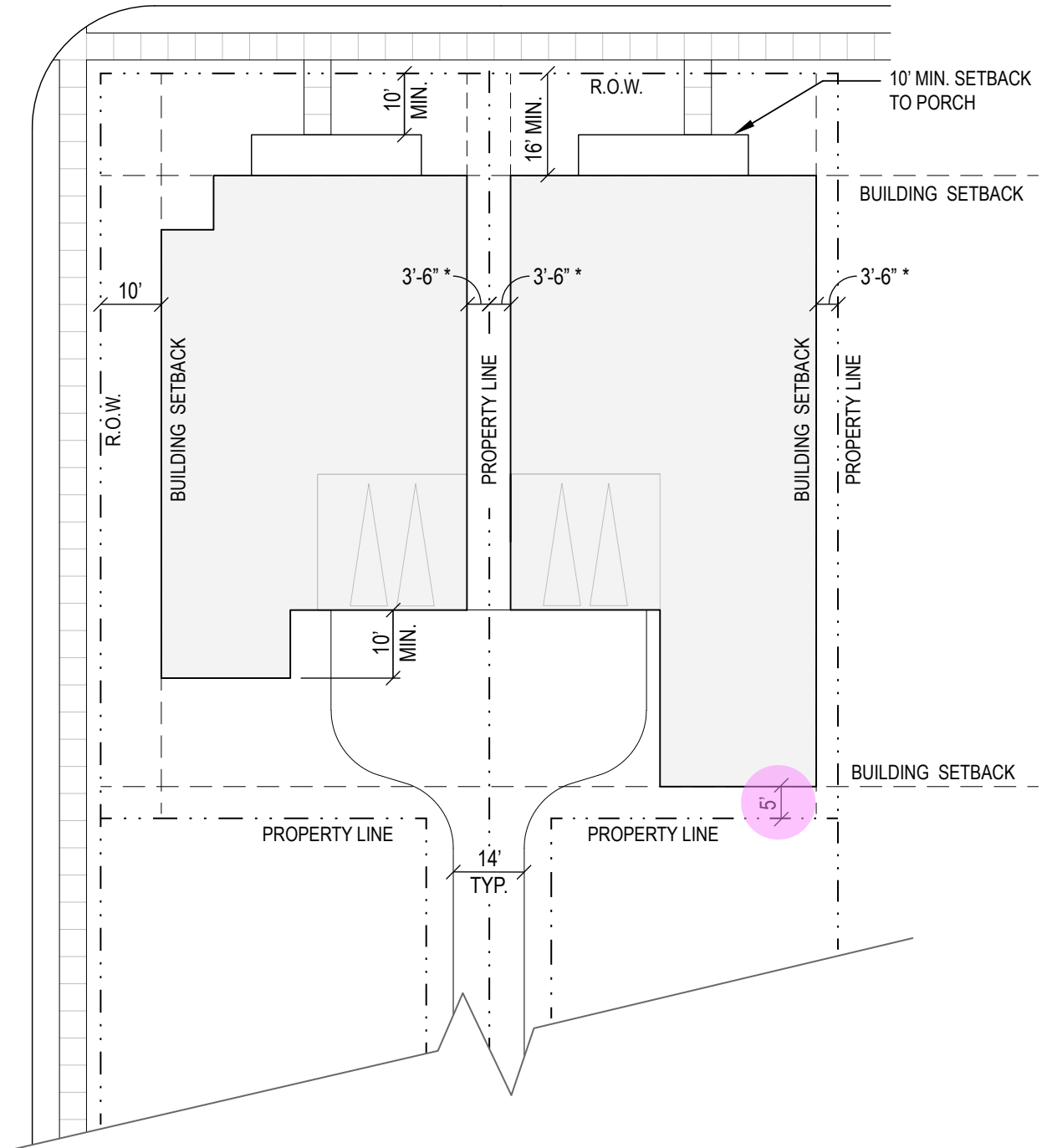


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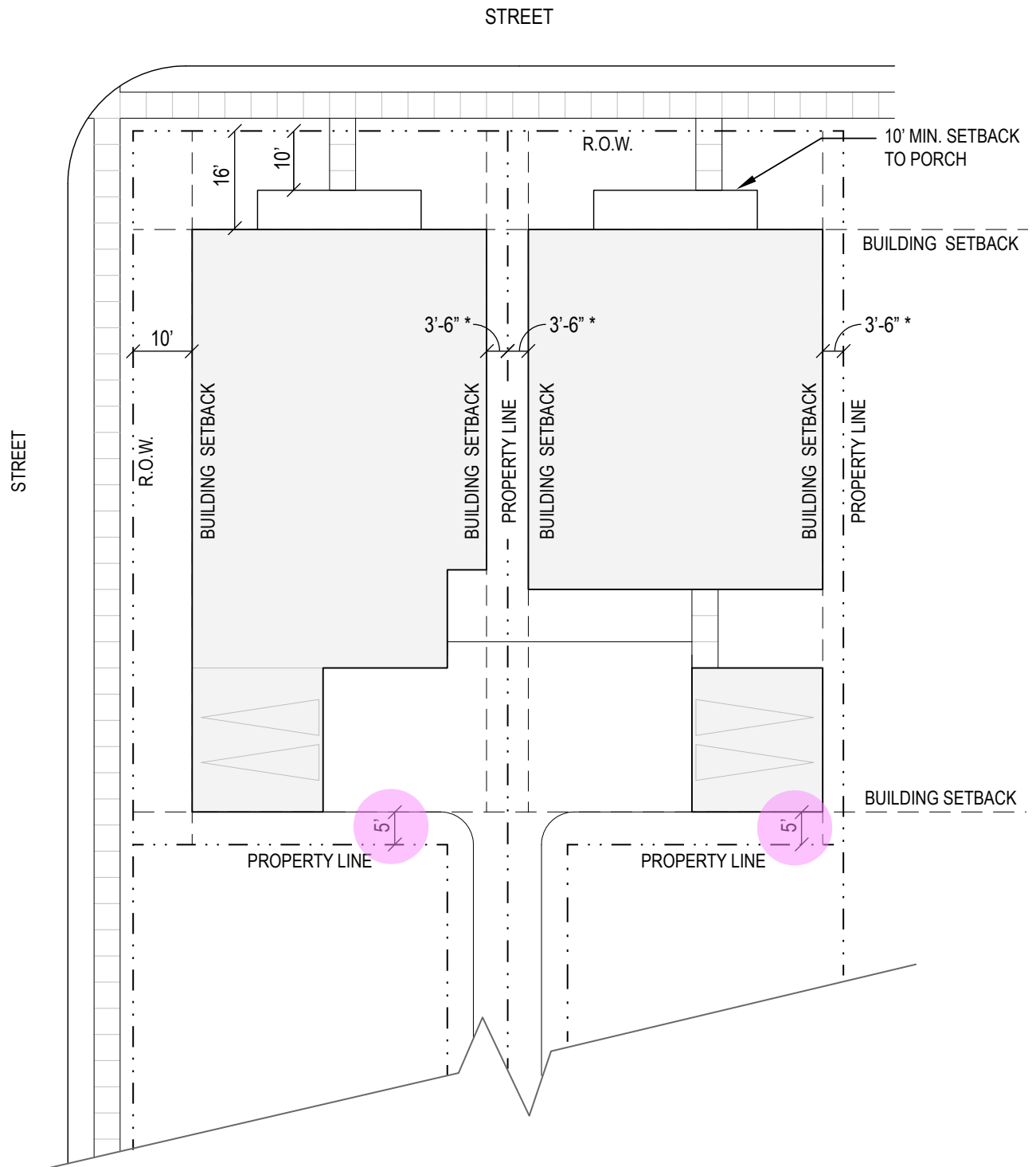
PREVIOUSLY PUBLISHED UPDATE(S)

The following pages contain
the updates that were added in past versions
of the Guidelines.



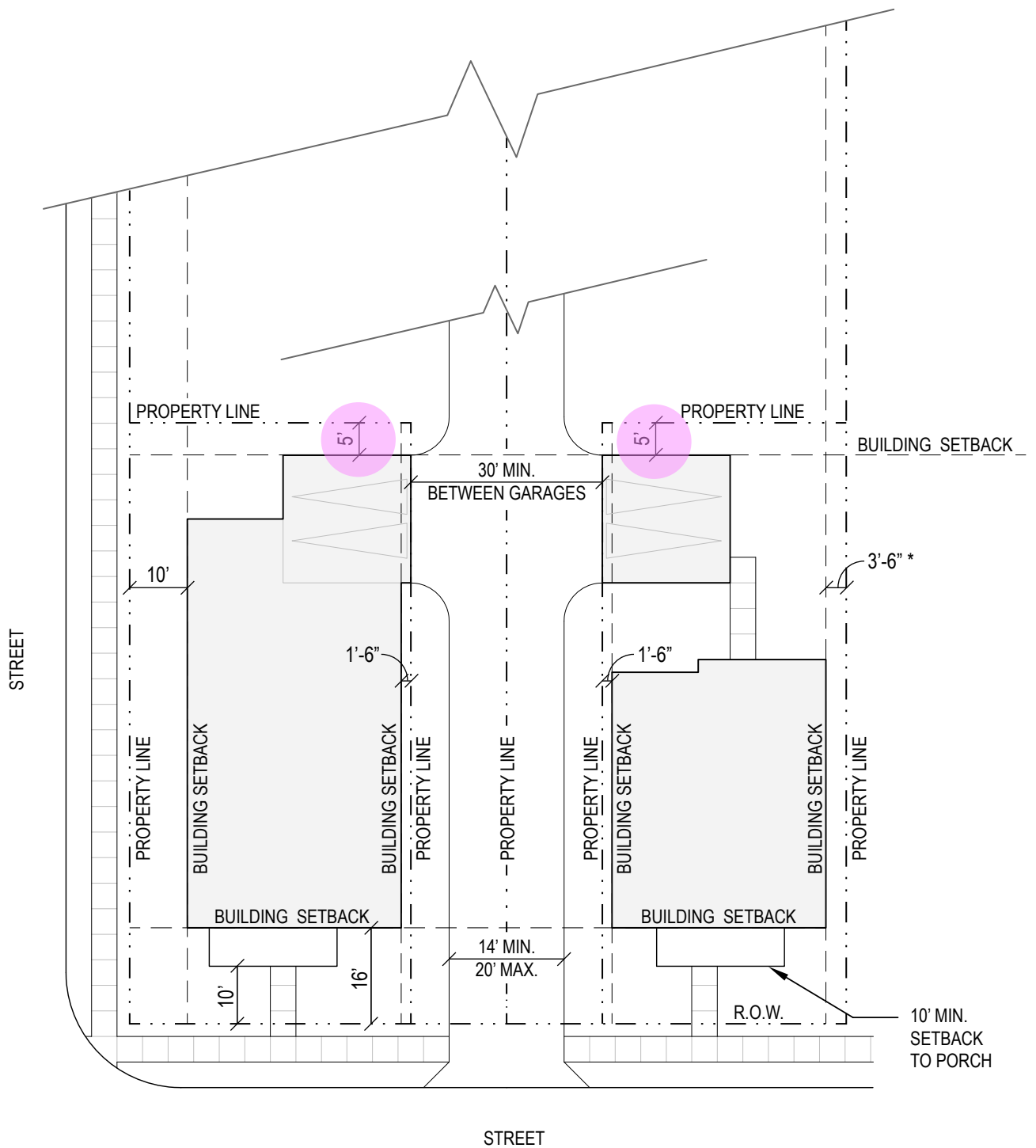
*A HOUSE MAY BE SHIFTED TO THE INTERIOR PROPERTY LINE (MAKING IT A ZERO LOT LINE) IF:

1. THE BUILDER ALSO OWNS THE ADJACENT AFFECTED LOT; AND
2. THE ADJACENT HOUSES MAINTAIN A MINIMUM OF SEVEN (7') FEET OF SEPARATION BETWEEN THEM.



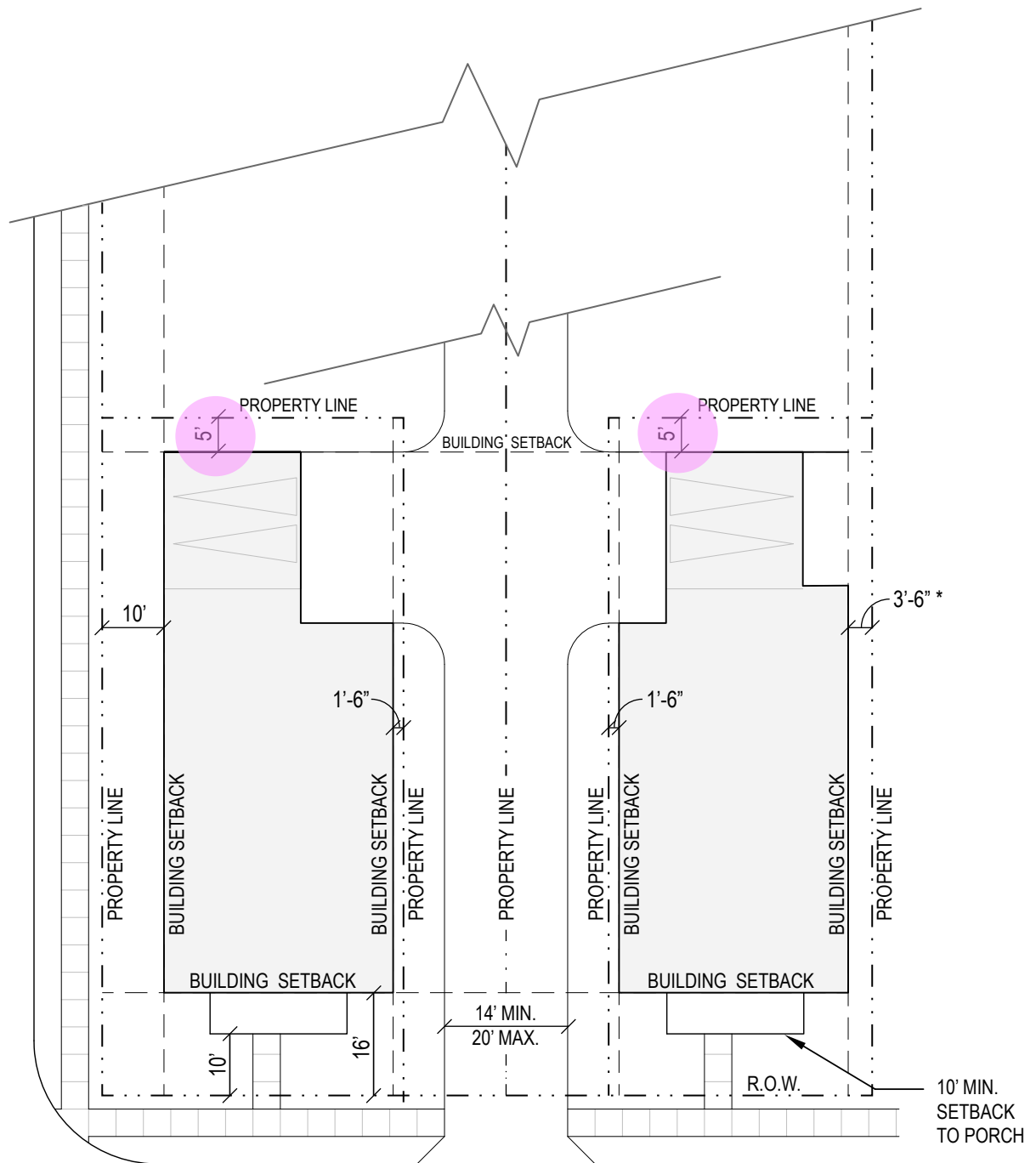
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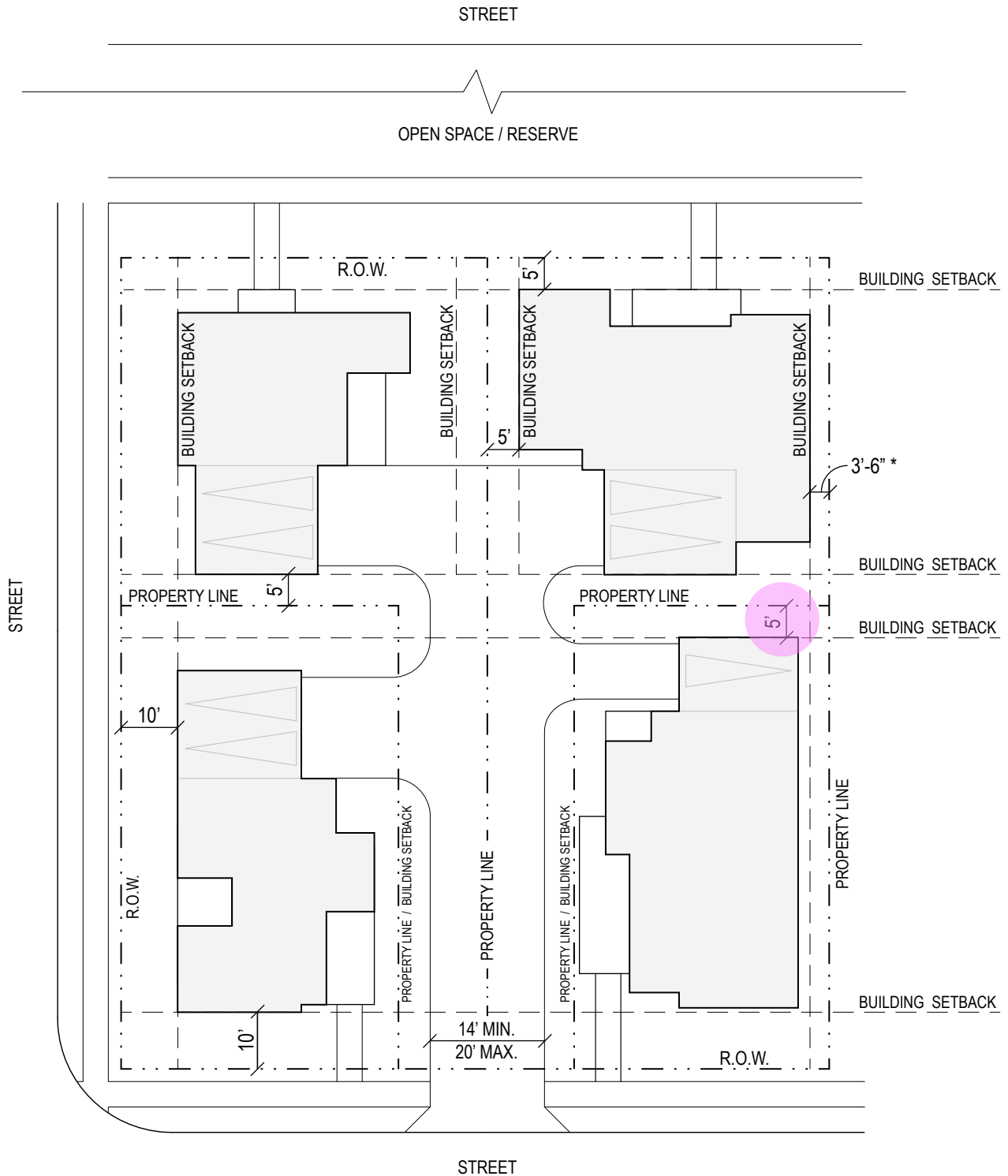
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SUPPLEMENTAL GUIDELINES

UNION PARK (2A)

MODEL HOME PARK

Easton Park – New Construction – Supplemental Guidelines

Union Park (2A): (Model Home Park)

I. GENERAL

These Supplemental Guidelines are intended to be used in conjunction with the Easton Park Residential Development Guidelines for Kieke Park (2C), which shall act as the foundational document and requirements. Only items and requirements stated in these Supplemental Guidelines shall supersede those in the Easton Park Residential Development Guidelines for Kieke Park (2C). In case of a conflict between the specific requirements of these Supplemental Guidelines and the Easton Park Residential Development Guidelines for Kieke Park (2C), these Supplemental Guidelines will prevail.

II. ARCHITECTURE

A. Driveways

Driveways shall not be installed until the home is no longer to be used as a model home and is converted for sale; with Lot (10) ten being the exclusion, which will have a partial driveway installed, which shall not extend forward of the front plane of the home.

Some driveway locations may be predetermined and will be identified on the *“Section Fence & Driveway Layout”*, found on the last page of these Supplemental Guidelines.

B. Public Sidewalk

Each builder must build a five (5') foot wide sidewalk from lot line to lot line set three feet (3') from back of curb.

C. Private Walkway

Each builder must build a four (4') foot wide walkway from the front door to the street that includes a continuous landscape planter border, on each side of the Private Walkway, beginning at the interior side of the Public Sidewalk and ending at the primary entry of the home. The landscape border shall be tied into the overall front yard landscaping design.

III. SETBACKS

A. Front

Front setback shall be a minimum of thirty (30') feet from the front property line.

B. Side

Side setback shall be a minimum of five (5') feet.

C. Rear

Rear setback shall be a minimum of twenty (20') feet.

IV. MODEL HOME SIGNAGE

A. Monument Sign

Monument Sign shall be oriented parallel to the Public Sidewalk and located in the front yard landscaping, ten (10') feet back from the interior side of the Public Sidewalk.

(Reference Exhibit “SG-A1” for construction details.)

B. Model Home Identification Sign

Model Home Identification Sign shall be oriented parallel to the Public Sidewalk and located in the front yard landscaping, ten (10') feet forward of the front elevation and between five (5') feet to eight (8') feet front the side of the Private Walkway.

(Reference Exhibit "SG-A2" for construction details.)

V. LANDSCAPING

Landscaping for Model Homes shall include:

A. General

1. All Front Yards, Side Yards and Rear Yards are required to be fully landscaped and irrigated.
2. Turf grass shall be Bermuda.

B. Front Yard

1. The total Front Yard area shall be a maximum of forty (40%) percent sod.
2. Landscape planter beds coverage shall be a minimum of sixty (60%) percent of the front yard.
3. All mulch shall be black in color. No other colors will be considered or accepted.
4. A minimum of fifty (50%) percent of the landscape planter beds shall be lined with rock borders.
5. All landscaping shall be densely populated and incorporated tiered vegetation planting.
6. A minimum of seventy-five (75%) percent of the vegetation shall be evergreen.
7. Landscaping shall be used to provide a vegetation screening of the garage, excluding Lot (10) ten, which shall provide vegetation screening of the tapered portions and the entire street-fronting side(s) of the driveway (similar to that of Lot (9) nine).
8. All Front Yards shall have a minimum of one (1) Shade Tree at least four (4") inch caliper (measured at two (2') feet above natural grade).
9. A minimum of fifty (50), five (5) gallon and five (5), fifteen (15) gallon hardy shrubs must be installed in the Front Yard.
10. A minimum of five (5) gallon hardy shrubs must be installed at four (4') foot on center to reduce the visual impact of the slab.
11. A minimum of fifteen (15) flats of seasonal color vegetation must be installed and maintained.

(Reference Exhibit "SG-A3" for examples.)

C. Side Yard

1. Lot (10) ten

Lot (10) ten shall have continuous vegetation screening along the entire outside of the left elevation side fence.

2. Lot (14) fourteen

Lot (14) fourteen shall have continuous vegetation screening along the entire inside of the right elevation side fence.

(Reference "Section Fence & Driveway Layout", found on the last page of these Supplemental Guidelines.)

D. Rear Yard

1. All Rear Yards shall have a minimum of one (1) Shade Tree at least one and a half (1.5") inch caliper (measured at two (2') feet above natural grade) and one (1) Ornamental Tree (at least six (6') feet tall at the time of planting).
2. All Lots shall have a continuous evergreen hedge along the entire rear foundation.

(Reference Exhibit "D6" in the Easton Park Residential Development Guidelines for Kieke Park (2C).)

VI. FENCING

A. Fence Types

Fencing for Model Homes shall follow construction guidelines for wood and metal fences found in the Easton Park Residential Development Guidelines for Kieke Park (2C), section "III. Fencing".

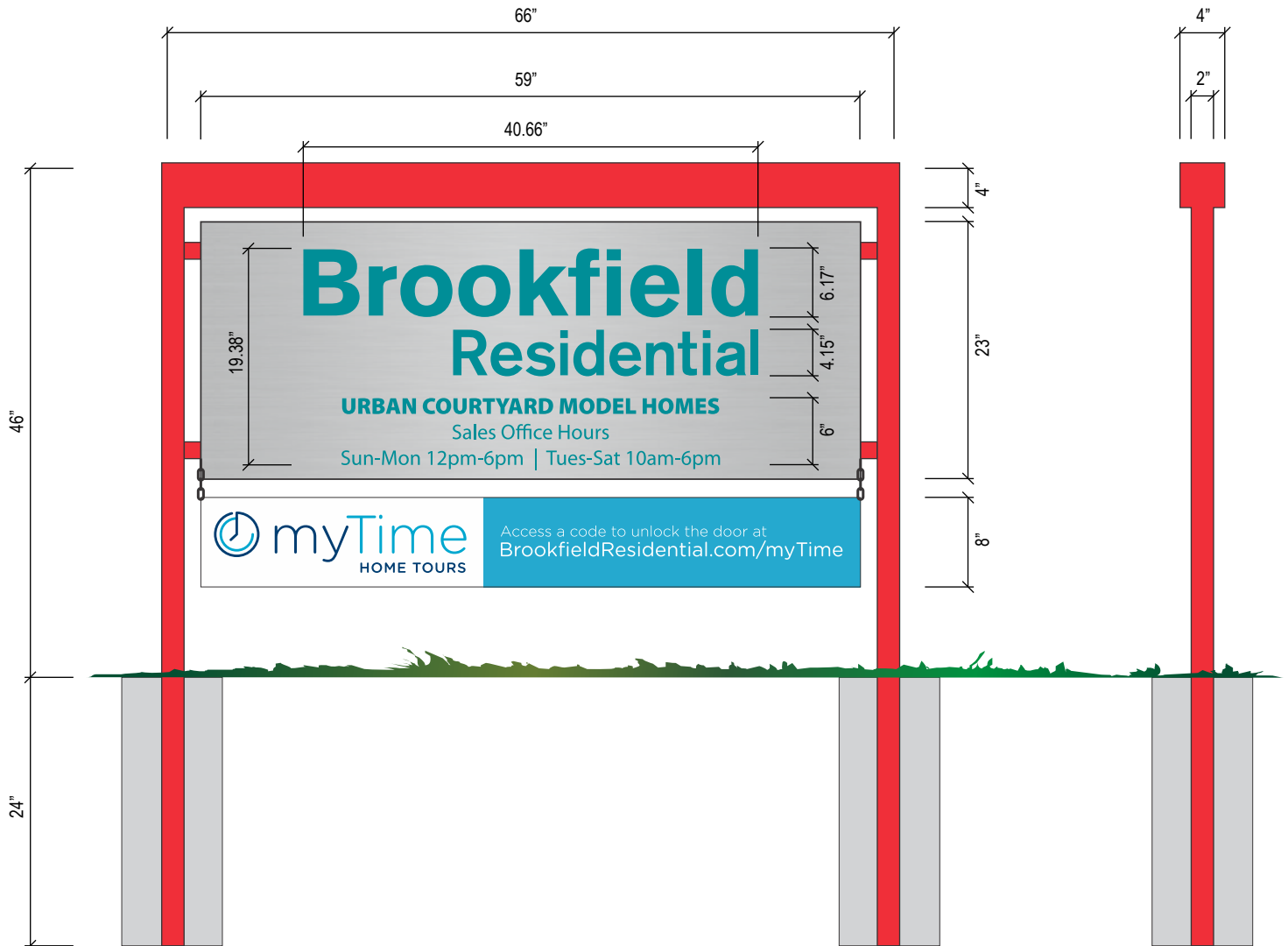
B. Fence Locations & Installation Schedule

Locations of each fence type and schedule for installation will be marked on the "Section Fence & Driveway Layouts".

C. Lot (10) ten

The left elevation side fence, of Lot (10) ten shall be installed five (5') feet in from the side property line.

(Reference "Section Fence & Driveway Layout", found on the last page of these Supplemental Guidelines.)



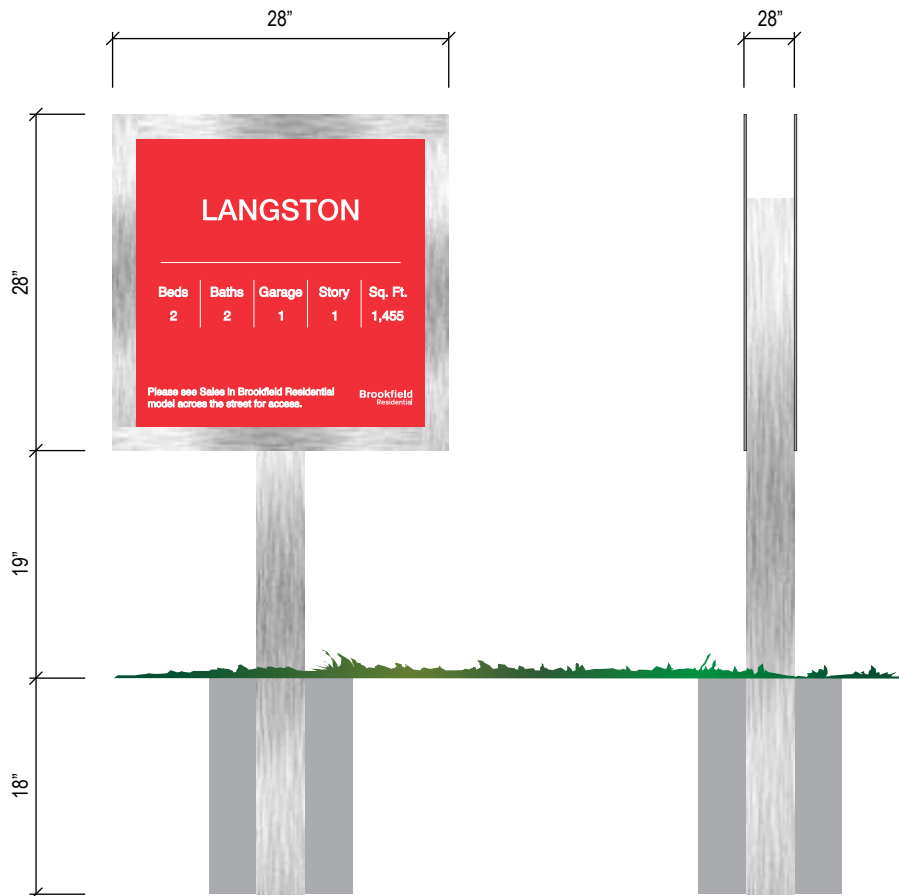
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 C:86 M:10 Y:33 K:20

NOTES

MANUFACTURE AND INSTALL:

1. TWO (2) D/F BRUSHED ALUMINUM SIGN PANEL WITH VCO LETTERING AND LOGO, MOUNTED TO POWDER-COATED METAL FRAMES (AS SHOWN).
2. TWO (2) D/F EIGHT INCH BY FIFTY NINE INCH (8" X 59") DPV ON ALUMINUM RIDERS, HUNG WITH CHAINS FROM MOUNTING BRACKETS.



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NOTES

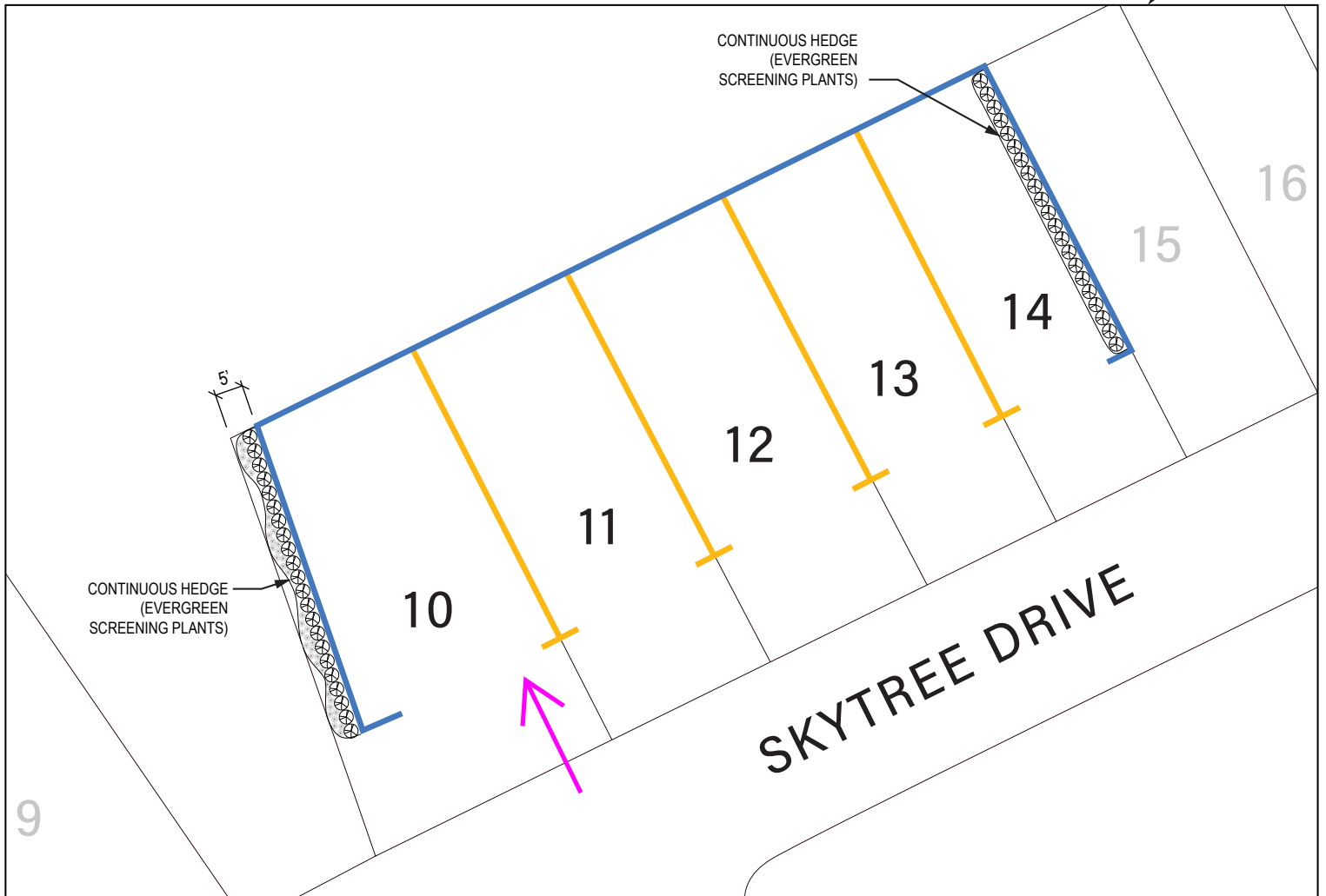
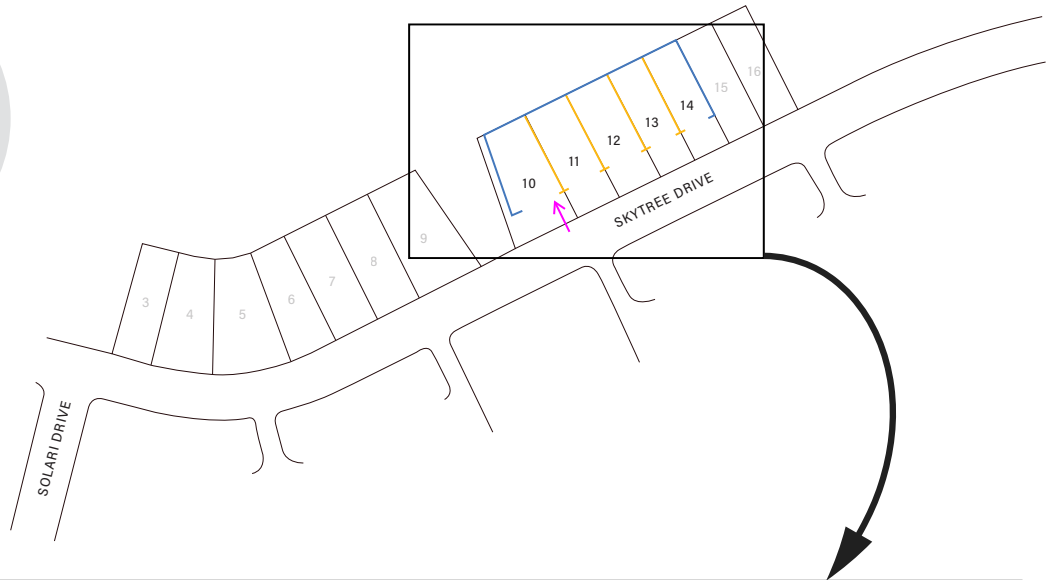
MANUFACTURE AND INSTALL:

SIX (6) TWENTY FOUR INCH BY TWENTY FOUR INCH (24" X 24") DPV WITH UV LAMINATE ON A TWENTY EIGHT INCH BY TWENTY EIGHT INCH (28" X 28") ALUMINUM PANEL MOUNTED TO A FOUR INCH BY FOUR INCH (4" X 4") BRUSHED ALUMINUM BASE POLE.



NOTES

THESE ARE EXAMPLES OF THE MINIMUM DENSITY, QUANTITY AND COVERAGE WITH WHICH MODEL HOMES SHALL BE LANDSCAPED.



- 6' METAL FENCE *
- 6' GOOD NEIGHBOR WOOD FENCE **
- ➔ DESIGNATED DRIVEWAY LOCATION

* METAL FENCES SHALL BE INSTALLED BY OR BEFORE THE COMPLETION OF THE INITIAL HOME CONSTRUCTION.

** WOOD FENCES AND DRIVEWAYS SHALL NOT BE INSTALLED UNTIL THE HOME IS NO LONGER TO BE USED AS A MODEL HOME AND IS CONVERTED FOR SALE.

REFERENCE FENCE DETAILS FOR EACH FENCE TYPE IN THE "EASTON PARK - RESIDENTIAL DEVELOPMENT GUIDELINES - KIEKE PARK (2C)" EXHIBITS: "C1" - "C3".



2.6 Urban Yard Home – Requirements

In addition to the General Requirements (for ALL homes) provided in Section 2.5, below are the specific requirements for all Urban Yard Homes.

A. Lot Coverage

The total of all hard surfaces created during initial construction of the residence (including: building pad, garage, Driveway, Private Walkways, porches, patios, etc.) shall not exceed:

Sixty-Five (65%) Percent Maximum

B. Lot Setbacks

(Reference Exhibits: “B1” – “B5”)

C. Square Footage

ALL air-conditioned interior space shall be measured to the outside of exterior walls (i.e., outside of brick, siding, stone, or stucco) and be included in the house square footage. Stairs and two-story spaces shall only be counted once.

The allowable square footage for all Urban Yard Homes in Kieke Park shall be:

LOT WIDTH	MINIMUM SQFT.	MAXIMUM SQFT.
50'	1,800	2,800
60'	2,400	No Maximum
70'	2,400	3,400

D. Minimum House Width

The minimum width of a house shall be no less than fifteen (15') feet narrower than the applicable typical product Lot width. See examples below.

TYPICAL LOT WIDTH	MINIMUM HOUSE WIDTH
50'	35'
60'	45'
70'	45'

E. Private Walkways

One (1) four (4') foot minimum City of Austin Visitability walkway must extend from the primary entrance of a home to a public pedestrian sidewalk or front driveway.

If a second walkway is provided from the home to a public pedestrian sidewalk or front driveway it does not have to be compliant with City of Austin Visitability requirements and may be constructed of materials compatible with the architectural style of the home (i.e. pavers, stepping stones, etc.)

F. Public Sidewalks

Builder is responsible for installing a four (4') foot public sidewalk which shall be constructed per the construction documents for Typical Roadway Sections, as provided by the Developer.

All public sidewalks must be doweled and properly reinforced.

- C. Landscape beds (when used) within the Parkway Strip must be irrigated and mulched with aggregate mulch.

4.12 Front Yard Landscape

The total Front Yard area shall be a maximum of sixty-five (65%) sod. The other thirty-five (35%) shall be landscape beds populated with the minimums shown in the table below.

FRONT YARD PLANT QUANTITY REQUIREMENTS				
LOT WIDTH(S)	TREES		HARDY SHRUBS	
	1.5" Caliper Shade Tree	Ornamental Tree (6' tall min. at installation)	1 Gallon	5 Gallon
45' - 50'	1	1	15	10
60'	1	1	18	12
70'	1	1	21	14

Shade Tree trunk caliper to be measured at two (2') feet above natural grade.

At a minimum, five (5) gallon hardy shrubs must be installed at four (4') foot on center to reduce the visual impact of the slab. Plants used to screen the foundation count towards the total number of required five (5) gallon hardy shrubs for that Lot.

(Reference Exhibit: "D3")

4.13 Side Yard Landscape

A. Interior Side Yard(s)

- (1) Landscape beds (when used) in the interior Side Yard must be mulched with hardwood or aggregate mulch.
- (2) Up to sixty (60%) percent of interior Side Yards may be landscaped with aggregate mulch only (no plantings).

B. Corner Side Yard

- (1) The street Side Yard of Corner Lots shall have plant material to soften the house foundation and street side elevation. Fences shall be installed on the side property (Right-of-Way) line. Refer to the Plant List and Exhibits referenced in this section for more detailed requirements.

SIDE YARD (CORNER LOT or AMENITY) PLANT QUANTITY REQUIREMENTS			
LOT WIDTH(S)	TREES		HARDY SHRUBS
	1.5" Caliper Shade Tree	Ornamental Tree (6' tall min. at installation)	
45' - 50'	1	1	Continuous Hedge/ Evergreen Screening Plants
60'	1	1	
70'	1	1	

Shade Tree trunk caliper to be measured at two (2') feet above natural grade.

- (2) A fifty (50') by fifty (50') foot sight distance triangle shall be maintained at corners. Positioning of the trees and shrubs shall also not impede pedestrian access on the public sidewalk.
- (3) **Side Yard, Corner Lot - Front Loaded**
(Reference Exhibit: "D4")
- (4) **Side Yard at Amenity – Typical**
(Reference Exhibit: "D5")
- (5) Landscape beds in the Side Yard must be irrigated and must be mulched with either hardwood or aggregate mulch.

4.14 Rear Yard Landscape

- A. Backyards must be fully landscaped with sod (must be irrigated) or aggregate mulch to stabilize the ground surface.
- B. Landscape beds and tree plantings (when used) must be irrigated.
- C. Rear Yards which rear an Amenity shall have a continuous landscape bed along the rear foundation of the home; populated with at least the plant quantities as shown below. Additional shrubs may be required to fully screen the foundation.

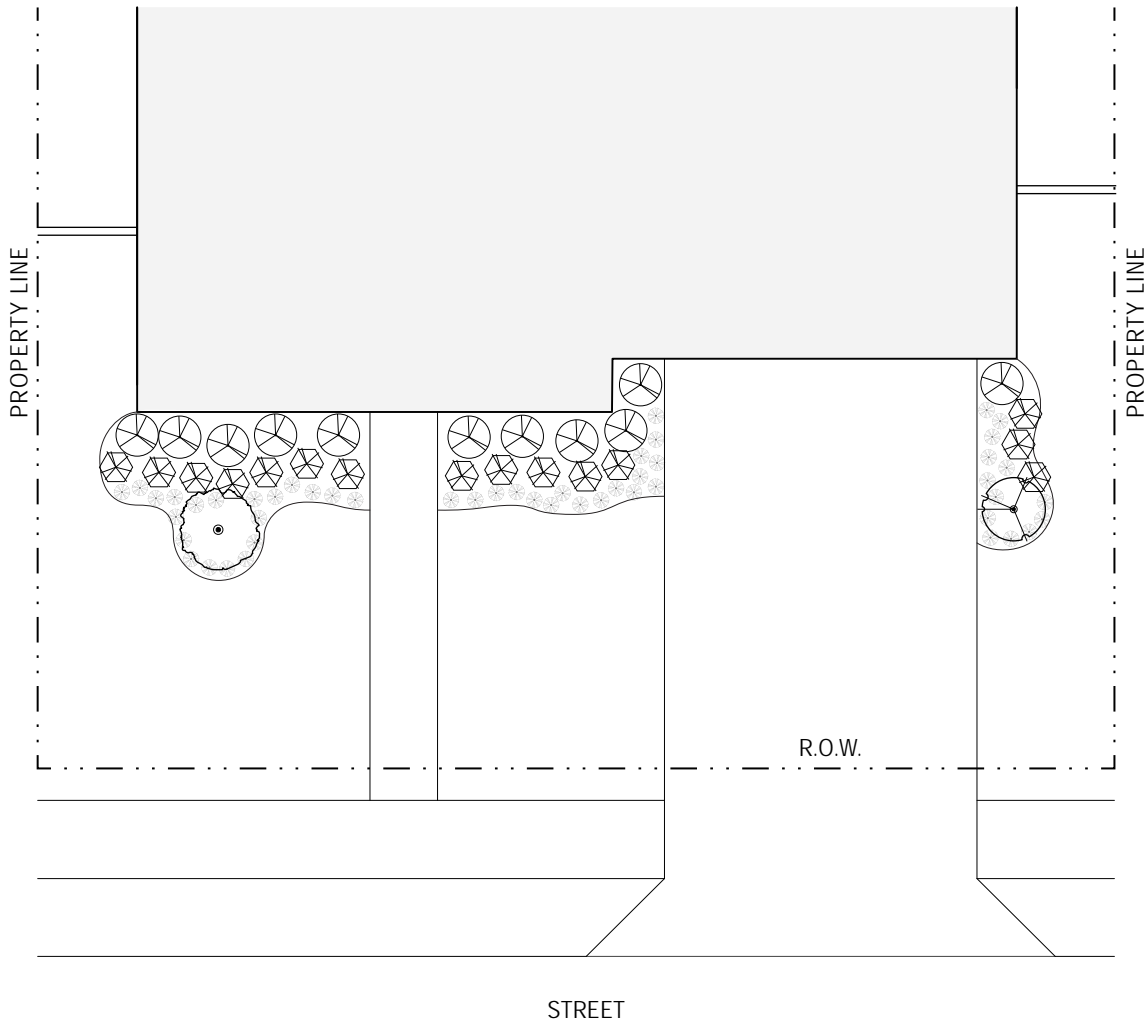
REAR YARD (AMENITY) PLANT QUANTITY REQUIREMENTS				
LOT WIDTH(S)	TREES		HARDY SHRUBS	
	1.5" Caliper Shade Tree	Ornamental Tree (6' tall min. at installation)	1 Gallon	5 Gallon
45' - 50'	1	1	15	10
60'	1	1	18	12
70'	1	1	21	14

Shade Tree trunk caliper to be measured at two (2') feet above natural grade.

- D. **Rear Yard at Amenity – Typical**
(Reference Exhibit: "D6")

4.15 HOA Landscape Maintained Areas

- A. Motor Court homes along Apogee Boulevard have a fifteen (15') foot landscape/access easement across the front of their Lots. This landscape easement is intended to be used to plant street trees and Landscaping near the ROW. It will be maintained by the Developer until it is turned over to the HOA.
- B. Permanent structures and/or elements placed within this easement, except for a private walkway connecting the public sidewalk to the primary entry of the dwelling, are strictly prohibited. Structures or elements, of any kind, placed in this area by the Builder or Owner shall be removed at the Owner's sole expense.



NOTES

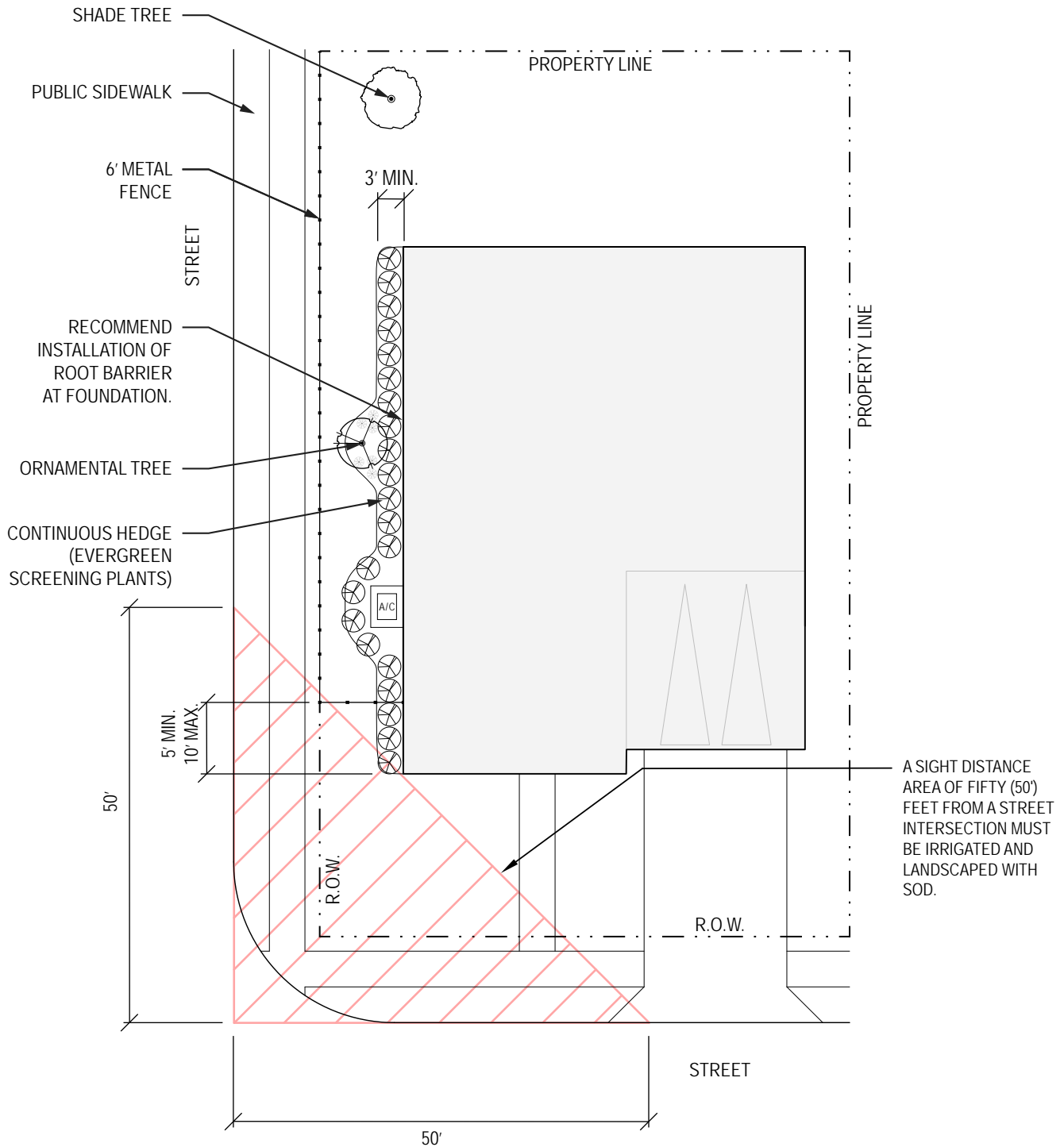
1. REFERENCE LANDSCAPE REQUIREMENTS AND APPROVED PLANTING LIST.
2. ALL YARDS SHALL BE FULLY IRRIGATED.
3. SOD SHALL BE BERMUDA.
4. PLANTER BEDS REQUIRE TWO (2") INCHES OF HARDWOOD MULCH.
5. TREE CALIPER TO BE MEASURED AT TWO (2') ABOVE NATURAL GRADE.
6. PLANTING SHALL NOT IMPEDE DRAINAGE.

MIN. FRONT YARD PLANT QUANTITY REQUIREMENTS				
LOT WIDTH(S)	TREES		HARDY SHRUBS	
	1.5" CALIPER SHADE TREE	ORNAMENTAL TREE (6' TALL MIN. AT INSTALL)	1 GALLON	5 GALLON
45' - 50'	1	1	15	10
60'	1	1	18	12
70'	1	1	21	14

LANDSCAPE REQUIREMENT: SIDE YARD, CORNER LOT (FRONT LOADED) - TYPICAL

SCALE: NTS

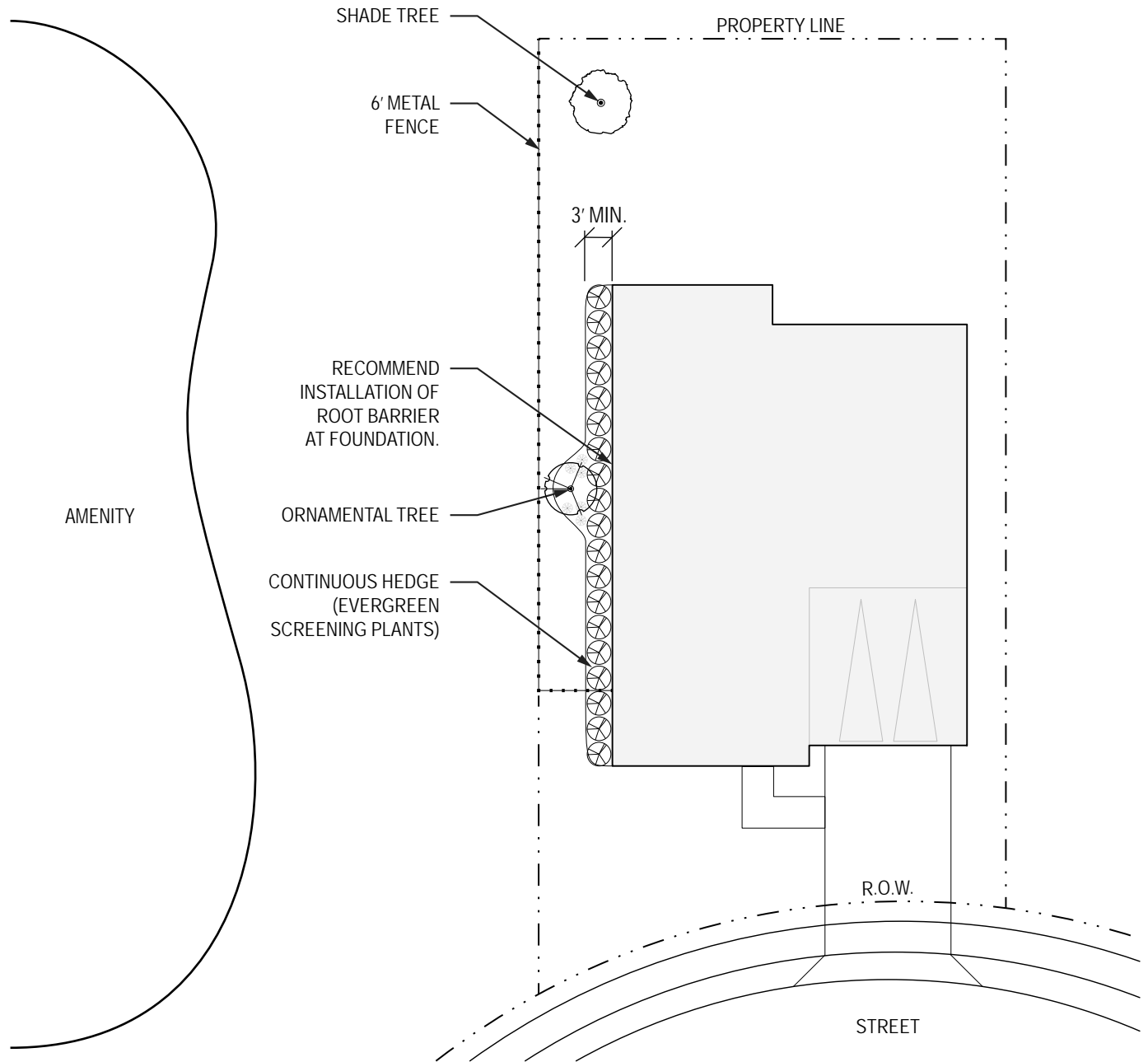
D4



NOTES

1. REFERENCE LANDSCAPE REQUIREMENTS AND APPROVED PLANTING LIST.
2. ALL YARDS SHALL BE FULLY IRRIGATED.
3. SOD SHALL BE BERMUDA.
4. PLANTER BEDS REQUIRE TWO (2") INCHES OF HARDWOOD MULCH.
5. TREE CALIPER TO BE MEASURED AT TWO (2') ABOVE NATURAL GRADE.
6. PLANTING SHALL NOT IMPEDE DRAINAGE.

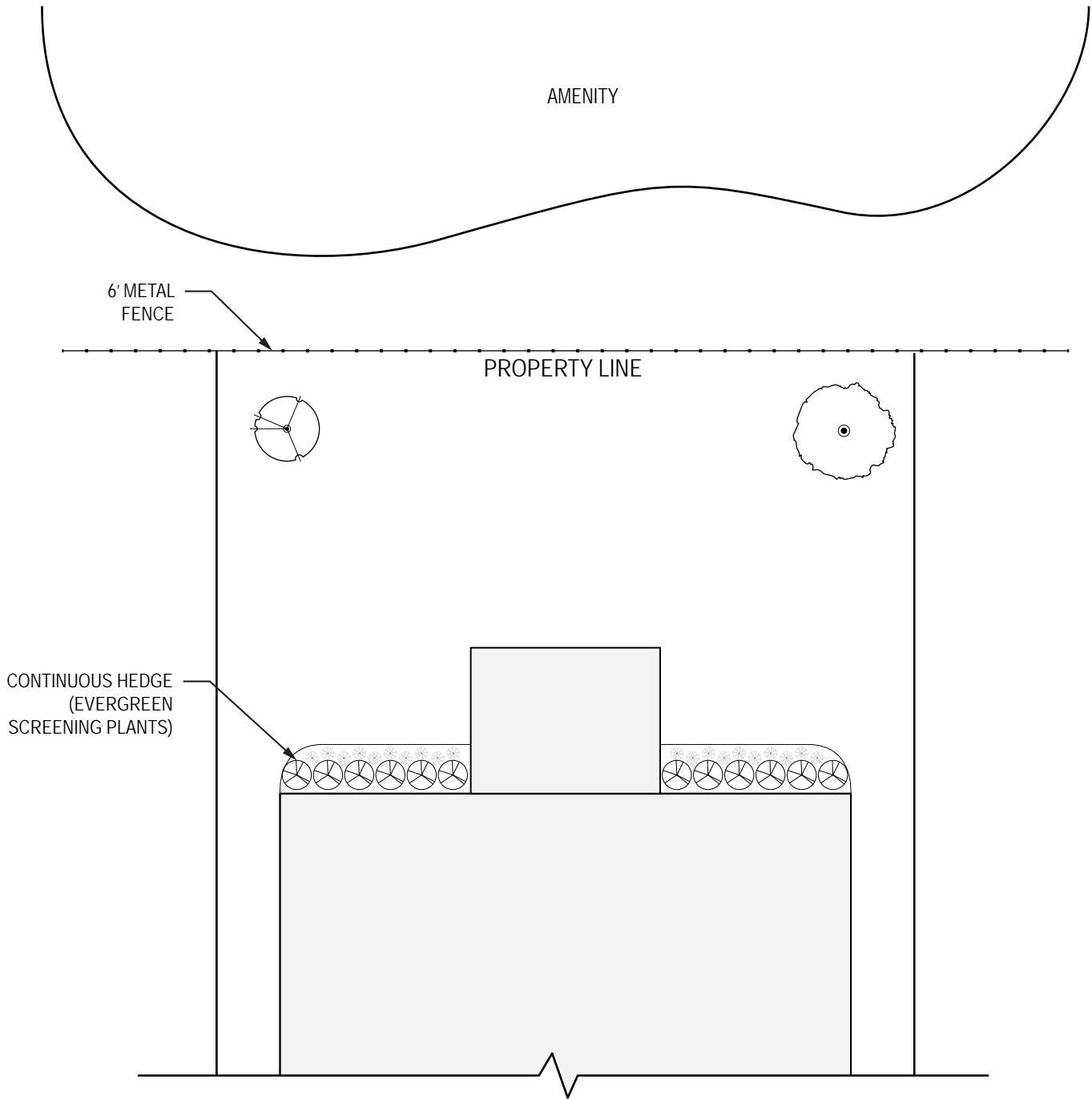
MIN. SIDE YARD PLANT QUANTITY REQUIREMENTS (AT CORNER LOT)			
LOT WIDTH(S)	TREES		HARDY SHRUBS
	1.5" CALIPER SHADE TREE	ORNAMENTAL TREE (6' TALL MIN. AT INSTALL)	24" MIN. HEIGHT AT INSTALLATION
45' - 50'	1	1	CONTINUOUS HEDGE / EVERGREEN SCREENING PLANTS)
60'	1	1	
70'	1	1	



NOTES

1. REFERENCE LANDSCAPE REQUIREMENTS AND APPROVED PLANTING LIST.
2. ALL YARDS SHALL BE FULLY IRRIGATED.
3. SOD SHALL BE BERMUDA.
4. PLANTER BEDS REQUIRE TWO (2") INCHES OF HARDWOOD MULCH.
5. TREE CALIPER TO BE MEASURED AT TWO (2') ABOVE NATURAL GRADE.
6. PLANTING SHALL NOT IMPEDE DRAINAGE.

MIN. SIDE YARD PLANT QUANTITY REQUIREMENTS (AT AMENITY)			
LOT WIDTH(S)	TREES		HARDY SHRUBS
	1.5" CALIPER SHADE TREE	ORNAMENTAL TREE (6' TALL MIN. AT INSTALL)	24" MIN. HEIGHT AT INSTALLATION
45' - 50'	1	1	CONTINUOUS HEDGE / EVERGREEN SCREENING PLANTS)
60'	1	1	
70'	1	1	



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1. REFERENCE LANDSCAPE REQUIREMENTS AND APPROVED PLANTING LIST.
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6. PLANTING SHALL NOT IMPEDE DRAINAGE.

MIN. REAR YARD PLANT QUANTITY REQUIREMENTS (AT AMENITY)			
LOT WIDTH(S)	TREES		HARDY SHRUBS
	1.5" CALIPER SHADE TREE	ORNAMENTAL TREE (6' TALL MIN. AT INSTALL)	24" MIN. HEIGHT AT INSTALLATION
45' - 50'	1	1	CONTINUOUS HEDGE / EVERGREEN SCREENING PLANTS)
60'	1	1	
70'	1	1	

Please note that invasive species of plants are not permitted for use in Easton Park. For the most current list of prohibited invasive plants please reference the list at www.GrowGreen.org

NATIVE SHADE TREES	
COMMON NAME	SCIENTIFIC NAME
Bald Cypress	Taxodium distichum
Bur Oak	Quercus macrocarpa
Cedar Elm	Ulmus crassifolia
Chinquapin Oak	Quercus muehlenbergii
Escarpment Live Oak*	Quercus fusiformis
Pecan	Carya illinoensis
Shumard Oak	Quercus shumardii
Southern Live Oak*	Quercus virginiana*

PERENNIALS	
COMMON NAME	SCIENTIFIC NAME
Coreopsis	Coreopsis lanceolata
Evening Primrose	Oenothera
Fall Aster	Symphotrichum oblongifolium
Gaura	Gaura lindheimeri
Gregg's Mistflower	Conoclinium greggii
Winecup	Callirhoe involucrata
Yarrow	Achillea millefolium
Yellow (Golden) Columbine	Aquilegia chrysantha

ORNAMENTAL TREES	
COMMON NAME	SCIENTIFIC NAME
Desert Willow	Chilopsis linearis
Flameleaf Sumac	Rhus copallinum
Mexican Plum	Prunus mexicana
Mexican Redbud	Cercis canadensis var. mexicana
Possumhaw Holly	Ilex decidua
Retama	Parkinsonia aculeata
Southern Wax Myrtle*	Myrica cerifera*
Texas Mountain Laurel	Dermatophyllum secundiflorum
Texas Persimmon	Diospyros texana
Texas Redbud	Cercis canadensis var. texensis
Yaupon Holly*	Ilex vomitoria*

GRASS - (ORNAMENTAL)	
COMMON NAME	SCIENTIFIC NAME
Basket Grass	Oplismenus hirtellus
Big Muhly	Muhlenbergia lindheimeri
Blue Grama	Bouteloua gracilis
Buffalo Grass	Bouteloua dactyloides
Deer Muhly/Deer Grass	Muhlenbergia rigens
Gulf Muhly	Muhlenbergia capillaris
Indian Grass	Sorghastrum nutans
Inland Sea Oats	Chasmanthium latifolium
Little Bluestem	Schizachyrium scoparium
Mexican Feather Grass	Nassella tenuissima
Side Oats Grama	Bouteloua curtipendula

LARGE SHRUBS	
COMMON NAME	SCIENTIFIC NAME
Dwarf Wax Myrtle	Myrica pusilla
Evergreen Sumac	Rhus virens
Southern Wax Myrtle* †	Myrica cerifera* †
Texas Sage* †	Leucophyllum frutescens* †
Barbados Cherry	Malpighia emarginata
Butterfly Bush	Buddleja
American Beautyberry	Callicarpa americana
Flameleaf Sumac	Rhus copallinum
Yellow Bells	Tecoma stans

GRASS - (LAWN)	
COMMON NAME	SCIENTIFIC NAME
Bermuda	Cynodon dactylon

ACCENTS	
COMMON NAME	SCIENTIFIC NAME
Agave	Agave americana
Paleleaf Yucca	Yucca pallida
Prickly Pear Cactus	Opuntia
Soft Leaf Yucca	Yucca recurvifolia
Texas Sotol	Dasylirion Texanum
Twisted Leaf Yucca	Yucca rupicola

SMALL SHRUBS	
COMMON NAME	SCIENTIFIC NAME
Artemisia*	Artemisia vulgaris*
Cherry Sage	Salvia greggii
Copper Canyon Daisy*	Tagetes lemmonii*
Dwarf Yaupon*	Ilex vomitoria 'Nana'
Foxtail Fern	Asparagus densiflorus
Red Yucca*	Hesperaloe parviflora*
Mexican Bush Sage	Salvia leucantha
Texas Betony*	Stachys coccinea*
Zexmenia	Wedelia acapulcensis var. hispida

GROUND COVER	
COMMON NAME	SCIENTIFIC NAME
Katie Dwarf Ruellia*	Ruellia brittoniana 'Katie'*
Pigeonberry*	Rivina humilis*
Silver Ponyfoot*	Dichondra argentea*
Trailing Lantana	Lantana montevidensis

* Evergreen

† Designated option for use on Corner Lots and Amenity Lots for required "Continuous Hedge (Evergreen Screening Plants)".